



CONTRACT DOCUMENTS

FOR

CITY OF PAGE

Lake Powell National Clubhouse Addition

City of Page
Department of Public Works

PO Box 1180
697 Vista Ave
Page, Arizona 86040

April 6, 2023

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1-1 NOTICE OF INVITATION FOR BID

NOTICE IS HEREBY GIVEN that sealed bids will be received by the City Clerk for the City of Page, Page City Hall, 697 Vista Avenue, Page, Arizona, until **4:30 PM May 11, 2023**. At that time, bids will be opened and publicly read aloud and recorded by the City Clerk. Bidders are invited but not required to be present at the bid opening. Bids must be in the actual possession of the City Clerk's Office on or prior to the exact time and date indicated above. Late bids shall not be considered and will be returned unopened. The prevailing clock shall be the City Clerk's clock.

Bids must be submitted on the forms furnished and in a sealed envelope. The Invitation for bid's project name and bidder's name and address should be clearly indicated on the outside of the envelope. Bids sent through Federal Express or other express mail agencies must have the bid documents sealed within an additional envelope inside the outer mailer.

The City of Page, Arizona is seeking bids from qualified contractors for the complete turn-key construction of the patio addition to the Lake Powell National Golf course clubhouse. The clubhouse is located at 400 Clubhouse drive in Page, Arizona.

Questions and requests for additional specifications and/or bid documents shall be directed to: Kyle Christiansen, Director of Public Works, City of Page, PO BOX 1180, Page, Arizona 86040, 928-645-4302. RFB packages may also be accessed on the City of Page website at www.cityofpage.org. Persons with disabilities may call the City's Human Resources Director at (928) 645-4231 or text telephone (TDD) (928) 645-4216 regarding availability of information in alternative formats.

All bid must be accompanied by a bond or a cashier's check of the company, drawn on a national bank, in an amount equal to ten percent (10%) of the Bid amount, as a guarantee on the part of the Bidder that it will, if called upon to do so, accept and enter into a contract based on the obligations and conditions set forth in the Bid Documents.

The successful Bidder, prior to entering into the contract, shall file with the City a Payment Bond in the amount equal to one hundred percent (100%) of the Contract Price, a Performance Bond in an amount equal to one hundred percent (100%) of the Contract price, and a certificate of Insurance. Bids may not be withdrawn for a period of sixty (60) days after the bid opening.

The City of Page reserves the right to reject any or all bids or parts thereto and to waive any informality in the bids received.

City Clerk

Publish each week for two consecutive weeks in the Lake Powell Chronicle. See publications dated *April 19th* and *April 26th*, 2023.

1-2 INSTRUCTIONS TO BIDDERS

1. PREPARATION OF BID. All BIDs shall be on the forms provided in this Invitation for Bid package. It is the responsibility of all BIDDERS to examine the entire BID DOCUMENTS package and seek clarification of any requirement that may not be clear and to check all responses for accuracy before submitting a BID.

The Bid Form shall be submitted with an original ink signature by the person authorized to sign the BID. Erasures, interlineations, or other modifications in the BID shall be initialed in original ink by the authorized person signing the BID. CITY shall not reimburse the cost of developing, presenting, or submitting any response to this solicitation. BIDs submitted should be prepared simply and economically, providing adequate information in the straightforward and concise manner.

2. MANDATORY PRE-BID MEETING. **NONE SCHEDULED.**

3. SUBMISSION OF BID. Submission of a BID shall be considered prima-facie evidence that the Contractor is familiar with and understands all the conditions under which the BID and subsequent CONTRACT is to be awarded, performed, and administered. The CONTRACTOR, if awarded the CONTRACT, shall not be allowed extra compensation by reason of any matter or thing which such CONTRACTOR might have more fully explored or been informed prior to submitting a BID. After the submission of the BID, no complaint or claim that there was any misunderstanding as to the conditions or nature of the work will be entertained.

Submission of additional terms, conditions, or agreements with the BID DOCUMENTS may result in rejection of the BID. BIDDER shall return all BID DOCUMENTS, with the exception of CONSTRUCTION DOCUMENTS, intact and completed as directed.

4. METHOD OF DELIVERY. There are five (5) methods by which BIDDERS can forward this bid package to CITY: Regular U.S. Postal Service (No delivery to CITY Hall-Use P.O. Box); U.S. Postal Express Mail (No delivery to CITY Hall-Use P.O. Box); Federal Express; United Parcel Service; hand delivery. Facsimile BIDs shall not be accepted.

The mailing address for CITY is:

City of Page
Office of the CITY Clerk
P.O. Box 1180
Page, AZ 86040-1180

The physical address for CITY is:

City of Page
Office of the CITY Clerk 697
Vista Avenue
Page, AZ 86040

5. QUESTIONS, OMISSIONS, DISCREPANCIES, INTERPRETATIONS AND ADDENDA. All questions regarding discrepancies in, or omissions from, the Scope of Services, or other BID DOCUMENTS, or doubts as to their meaning should be submitted in writing to the Department Director specified in the Notice of Invitation for Bid.

No oral interpretations shall be made to any BIDDER as to the meaning of any of the BID DOCUMENTS, and CITY shall not be bound by any oral interpretation of the BID DOCUMENTS. Oral interpretations or clarifications will be without legal effect.

Any amendment or addendum issued will be forwarded within 5 days to any known recipient of the original IFB. For purposes of receiving any addendum issued, it shall be the sole responsibility of each potential bidder to notify CITY that they have obtained a copy of the original IFB and intend to submit a BID and provide contact information for the receipt of amendments or addendum. The City of Page hereby reserves the right to extend the period of time in which to submit bids.

6. WITHDRAWAL OF BID. At any time prior to the specified Bid submission deadline, a BIDDER may withdraw or revise the BID. Any withdrawal or revision request must be received in writing prior to said deadline. All revisions must be submitted in the same form and manner as the original BID. No BIDDER may withdraw his BID for Sixty (60) days after the time established for receiving BIDs. The award of the CONTRACT to another party does not constitute a waiver of this condition.

7. LATE BIDS. Late BIDs shall not be considered. Page is considered a rural area by most express delivery carriers and thus, they do not guarantee priority or next day delivery. BIDDERS are encouraged to keep this in mind when arranging delivery of their BIDs and are advised herein that late BIDs shall be rejected and returned to the BIDDER regardless of reason for being late.

8. PRICES. In the event of discrepancy or conflict between the prices quoted in the BID in words and those quoted in figures, the words shall control. The price quoted shall be the total cost the CITY will pay for the project, including furnishing of all materials, equipment, tools, and all other facilities, all applicable taxes, and the performance of all labor and services necessary or proper for completion of the work. Prices quoted shall also include any and all payment incentives available to the CITY.

9. REFERENCES. The BIDDER shall provide a list of five (5) current and five (5) former clients. References should have similar scope and requirements to those outlined in these BID DOCUMENTS. Unacceptable references, as determined by the CITY of Page, may be sufficient reason to deny award of this project to BIDDER.

10. STATEMENT OF QUALIFICATIONS. As evidence of his competency to perform THE WORK, BIDDER shall complete and submit with his BID the Statement of Bidder Qualifications. Low bidders may be asked to furnish additional data to demonstrate competency. By submitting a BID, BIDDER certifies that he is skilled and regularly engaged in the general class and type of work called for in the BID DOCUMENTS.

Additionally, BIDDER shall comply with all provisions of Arizona Revised Statutes, Title 32, Chapter 10.

11. SUBCONTRACTORS. The CONTRACTOR may subcontract any part of the work to be performed under this CONTRACT as long as resulting charges to CITY do not exceed the Lump Sum BID quoted in the Bid Form and the subcontractor(s) is/are licensed to perform the work required by the CONTRACT. The BIDDER shall submit the List of Subcontractors and Supplier form, listing all of the subcontractors and major suppliers it intends to use in the performance of THE WORK. CITY reserves the right to reject any BID based on submission of an incomplete list of subcontractors and major material suppliers as non-responsive. CITY reserves the right to reject, prior to award of the CONTRACT, the bidder's request for substitution of subcontractors or major material suppliers provided, however, substitute subcontractors may be considered as long as they comply with the requirements of these CONTRACT DOCUMENTS.

12. DETERMINATION OF SUCCESSFUL BIDDER. Except where CITY exercises the reserved right herein, the CONTRACT shall be awarded by CITY to the RESPONSIVE and RESPONSIBLE BIDDER who has submitted the lowest lump sum BID.

CITY may conduct such investigation as CITY deems necessary to assist in the evaluation of any BID and to establish the responsibility, qualifications, and financial ability of BIDDERS, proposed subcontractors and other persons and organizations to do THE WORK in accordance with the BID DOCUMENTS.

13. AWARD OF CONTRACT. Notwithstanding any other provision in these BID DOCUMENTS, CITY reserves the right to (a) waive any immaterial defect or informality; or (b) reject any or all BIDs, or portions thereof; (c) withdraw, cancel, or reissue this IFB; (d) issue addenda or amend the IFB, including extending deadlines; (e) request additional information and/or clarification from BIDDER; (f) accept any part/portion of any bid with exclusion to other parts/portions; (g) negotiate and/or award a contract only when it is in the best interest of the CITY; and/or (h) take other actions the CITY deems is in the best interest of the CITY. Within Sixty (60) days after opening of the bids, CITY shall act upon them. The acceptance of a BID shall be a written NOTICE OF AWARD and no other act shall constitute acceptance.

14. BID SECURITY AND BONDING. Each bid must be accompanied by a bond or a cashier's check of the Company, drawn on a national bank, in an amount equal to ten percent (10%) of the Bid, as a guarantee on the part of the Contractor that it will, if called upon to do so, accept and enter into a contract based on the obligations and conditions set forth herein to perform the work covered by such Bid and at the cost stated therein. Checks and bonds will be returned promptly after the City and the selected contractor have executed the contract, or, if no contractor's bid has been selected within sixty (60) days after the date of the opening of the bids, upon demand of the contractor at any time thereafter, so long as he has not been notified of the acceptance of his proposal. Failure to execute the Contract within ten (10) business days will, at the option of the City, constitute a breach and the City will be entitled to forfeiture of the required bond accompanying the Bid, not as a penalty, but as liquidated damages.

Pursuant to A.R.S. § 34-222, the Contractor shall post a 100% Performance Bond and 100% Labor and Material Payment Bond with the City before the Contract is executed and Notice to Proceed issued.

15. TIME FOR EXECUTING CONTRACT. Any BIDDER whose BID has been accepted shall be required to execute the CONTRACT and return it to CITY within ten (10) days after receipt of the NOTICE OF AWARD, complete with required bond forms and insurance certificates. Failure or neglect to do so shall constitute a breach of the agreement effected by the NOTICE OF AWARD. The rights and obligations provided for in the CONTRACT shall become effective and binding upon the parties only with its formal execution by the CITY.

The damages to CITY for such breach shall include loss from interference with its construction program and other items whose accurate amount shall be difficult or impossible to compute. The amount of the Bid Bond, if any, accompanying the BID of such BIDDER shall be retained by CITY as liquidated damages for such breach.

16. SUSPENSION & DEBARMENT. CITY reserves the right to reject the BID of any person or corporation that has previously defaulted on any contract with CITY or has engaged in conduct that constitutes a cause for debarment or suspension.

17. PROTEST PROCEDURE. The award determination of the Page City Council shall be final.

18. PUBLIC RECORD. All BIDS submitted in response to this invitation shall become the property of CITY and shall become a matter of public record; provided, however, that the BIDDER shall clearly identify information that he considers to be confidential. To the extent that CITY agrees, and current Arizona law supports such designation, such information will be held in confidence whenever possible.

1-3 BID FORM

PROJECT **LAKE POWELL NATIONAL CLUBHOUSE ADDITION**

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

Bidder's Company Name: _____

The undersigned bidder has carefully examined the BID DOCUMENTS and the site of the work for the [title of project] for the City of Page, and shall provide all necessary machinery, tools, apparatus, and other means of construction and do all THE WORK and furnish all materials called for in the BID DOCUMENTS.

THE BIDDER AGREES TO PERFORM ALL OF THE NECESSARY WORK DESCRIBED IN THE BID DOCUMENTS FOR THE TOTAL BID PRICE OF:

_____ Dollars (\$_____)

Accompanying this BID is a Bid Bond for Ten Percent (10%) of the lump sum bid payable to CITY, which is to be forfeited as liquidated damages, if, in the event that this bid is accepted, the undersigned fails to execute the CONTRACT and furnish satisfactory performance and payment bonds under the conditions and within the time specified in the BID DOCUMENTS; otherwise said Bid Bond is to be returned to the undersigned.

Date	_____
Name of Bidder	_____
Signature of Bidder	_____
Title of Bidder	_____
Address	_____

Telephone Number	_____
Fax Number	_____

BIDDER shall have the following License(s) to perform THE WORK specified herein:

Arizona General Contractor's License No.	_____
Federal Tax ID No.	_____

1-4 BID SCHEDULES

PROJECT **LAKE POWELL NATIONAL CLUBHOUSE ADDITION**

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

BIDDER shall complete the unit prices in the Bid Schedules, below. The BIDDER agrees to perform all of the services necessary to accomplish the work described in the specifications and shown on the plans for the unit prices listed in each Bid Schedule. The CITY shall pay BIDDER for completion of the Work in accordance with the Contract Documents in current funds based on the Bid Schedule unit prices and actual quantities of work installed.

The quantities appearing in the Bid Schedule are approximate only. In the event the total amount of the lowest acceptable bid exceeds the amount of funds available for the project, the scope of work will be modified as determined by the CITY and the ENGINEER. The right is reserved to increase or decrease the quantities listed in each Bid Schedule or to entirely eliminate certain Bid Items or Bid Schedules if found desirable or expedient. The BIDDER is cautioned against unbalancing his Bid by prorating his overhead into one or two bid items. The overhead and indirect charges should be prorated on all items in the Bid Schedule.

1-5 CONTRACTOR'S REFERENCE PAGE

To Submit with Bid. ALL REFERENCES WILL BE TREATED AS THE CONTRACTOR'S CONFIDENTIAL BUSINESS INFORMATION. CITY may contact some or all of the references provided in order to determine Bidder's RESPONSIBILITY and performance record on work of similar scope. CITY reserves the right to contact references other than those provided in the response and to utilize the information gained from them in the evaluation process.

Previous work for CITY may be used as references. Complete each item for all 10 references (5 Current and 5 Former):

Current References:

1	Owner/Agency	
	Address	
	City, State, Zip	
	Phone	
	Contact Person	
	Project Name and Scope of Work	

2	Owner/Agency	
	Address	
	City, State, Zip	
	Phone	
	Contact Person	
	Project Name and Scope of Work	

3	Owner/Agency	
	Address	
	City, State, Zip	
	Phone	
	Contact Person	
	Project Name and Scope of Work	

Former References:

1	Owner/Agency	
	Address	
	City, State, Zip	
	Phone	
	Contact Person	
	Project Name and Scope of Work	

2	Owner/Agency	
	Address	
	City, State, Zip	
	Phone	
	Contact Person	
	Project Name and Scope of Work	

3	Owner/Agency	
	Address	
	City, State, Zip	
	Phone	
	Contact Person	
	Project Name and Scope of Work	

1-6 LIST OF SUBCONTRACTORS AND MATERIAL VENDORS

PROJECT **LAKE POWELL NATIONAL CLUBHOUSE ADDITION**

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

To Submit with Bid. In compliance with the Instructions to Bidders, the undersigned submits the following names of subcontractors and material vendors to be used in performing the work for this project. Where subcontractor or material vendor does not apply, write "N/A."

Subcontractor's or Material Vendor's Trade	Subcontractor's Name	Vendor's Name
Demolition	_____	_____
Earthwork	_____	_____
Soil Treatment	_____	_____
Paving and Surfacing	_____	_____
Site Improvements	_____	_____
Concrete Reinforcing	_____	_____
Cast-in-Place Concrete	_____	_____
Masonry	_____	_____
Structural Steel	_____	_____
Steel Joists	_____	_____
Steel Decking	_____	_____
Light Gage Metal Framing	_____	_____
Metal Fabrication	_____	_____
Rough Carpentry	_____	_____
Architectural Woodwork	_____	_____
Damp Proofing	_____	_____
Insulation	_____	_____
Roofing	_____	_____
Flashing and Sheet Metal	_____	_____
Sealants	_____	_____

Subcontractor's or Material Vendor's Trade	Subcontractor's Name	Vendor's Name
Sheet Metal Roofing		
Metal Doors and Frames		
Wood Doors		
Special Doors		
Metal Windows		
Hardware		
Glazing		
Lath and Plaster		
Gypsum Wallboard		
Ceramic Tile		
Acoustical Panel Ceilings		
Resilient Flooring		
Carpeting		
Painting		
Signage		
Plumbing		
Fire Protection System		
HVAC		
Electrical		
Irrigation		
Landscape		
Other (specify)		

1-7 STATEMENT OF BIDDER QUALIFICATION

If bidder is a corporation, answer the following:

Date of Incorporation _____
State of Incorporation _____
President's Name _____
Vice President's Name _____
Secretary/Clerk's Name _____
Treasurer's Name _____

If bidder is a partnership, answer the following:

Date of Organization _____
General or Limited
Partnership _____

Name and Address of All Partners:

If other than a corporation or partnership, describe the organization and name principals:

Major types of work done by the organization:

How many years has your organization been in business as a contractor under your present business name? _____

How many years' experience in the proposed type and scale of construction work has your organization had? _____

A. As a general contractor: _____

B. As a subcontractor: _____

What is the construction experience of the principal individuals of your organization?

Individual's Name	Present Position or Office	Years Construction Experience	Magnitude and Type of Work	In What Capacity

1-8 ARIZONA STATUTORY BID BOND

PROJECT LAKE POWELL NATIONAL CLUBHOUSE ADDITION

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

PURSUANT TO TITLE 34, ARIZONA REVISED STATUTES, (Penalty of this bond must not be less than 10% of bid amount), KNOW ALL MEN BY THESE PRESENTS THAT:

_____(hereinafter "Principal"), as Principal, and
_____(hereinafter "Surety"), a corporation organized and
existing under the laws of the State of _____, with its principal offices in the City of
_____, holding a certificate of authority to transact surety business in Arizona
issued by the Director of the Department of Insurance pursuant to Title 20, Chapter 2, Article 1,
as Surety, are held and firmly bound unto the City of Page, Arizona (hereinafter "Obligee"), in the
sum of Ten Percent (10%) of the amount of the bid of Principal, submitted by Principal to Obligee
for the work described below, for payment of which sum, the Principal and Surety bind
themselves, and their heirs, administrators, executors, successors and assigns, jointly and
severally, firmly by these presents.

WHEREAS, the Principal has submitted a bid for the work titled above.

NOW, THEREFORE, if the obligee shall accept the proposal of the Principal and the Principal shall enter into a contract with the Obligee in accordance with the terms of the proposal and give the bonds and insurance as specified in the standard specifications with good and sufficient surety for the faithful performance of this contract and for prompt payment of labor and materials furnished in the prosecution of this contract, or in the event of the failure of the Principal to enter into this contract and give the bonds and certificates of insurance, if the Principal pays to the Obligee the difference not to exceed the penalty of the bond between the amount specified in the proposal and such larger amount for which the Obligee may in good faith contract with another party to perform the work covered by the proposal then this obligation is void. Otherwise, it remains in full force and effect provided, however, that this bond is executed pursuant to the provisions of Section 34-201, Arizona Revised Statutes, and all liabilities on this bond shall be determined in accordance with the provisions of that section to the extent as if it were copied at length herein.

Witness our hands this _____ day of _____, 20___. By

_____ (Principal)

By _____ (Surety)

2 CONTRACT AGREEMENT DOCUMENTS

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2-1 NOTICE OF AWARD

PROJECT **LAKE POWELL NATIONAL CLUBHOUSE ADDITION**

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

CONTRACTOR

DATE _____, 2023

The City of Page, having duly considered the bid submitted on MAY 11, 2023 for the City of Page **LAKE POWELL NATIONAL CLUBHOUSE ADDITION** as outlined in the CONTRACT DOCUMENTS, and it appearing that your BID for performing the work is fair, equitable, and in the City's best interest, said BID is hereby accepted at the lump sum price contained therein, and in accordance with all terms, conditions, covenants, and provisions set forth in the CONTRACT DOCUMENTS.

In accordance with the terms of the CONTRACT DOCUMENTS, you are required to execute the formal CONTRACT and furnish the required Payment and Performance Bonds within ten (10) consecutive calendar days from and including the date of receipt of this Notice.

In addition, you are requested to furnish at the same time, the required certificates of insurance evidencing compliance with the requirements for insurance stated in the CONTRACT DOCUMENTS.

The Bid Bond submitted with your bid will be retained until the CONTRACT has been executed and the required Payment and Performance Bonds have been furnished and approved.

Kyle Christiansen
Director of Public Works

RECEIVED AND ACCEPTED BY CONTRACTOR:

By _____
Name _____
Date _____

2-2 CONTRACT

PROJECT **LAKE POWELL NATIONAL CLUBHOUSE ADDITION**

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

CONTRACTOR _____

The following Agreement contains terms and conditions which CONTRACTOR must be prepared to accept upon receipt of a NOTICE OF AWARD.

This Contract ("CONTRACT") is made and entered into by and between the City of Page, an Arizona municipal corporation, (hereinafter "CITY"), and _____ (hereinafter "CONTRACTOR").

IN CONSIDERATION of the mutual promises and agreements set forth herein, it is agreed by and between the CITY and CONTRACTOR, as follows:

1. CONTRACT DOCUMENTS. The following documents are hereby incorporated by reference into this CONTRACT, and shall be referred to as the CONTRACT DOCUMENTS:

A. Bid Documents to include the (1) Notice of Invitation for Bid; (2) Instructions to Bidders; (3) Bid Form; (4) Bid Schedules; (5) Contractor's Reference Page; (6) List of Subcontractors and Material Vendors; (7) Statement of Bidder Qualification; and (8) Arizona Statutory Bid Bond.

B. Contract Agreement Documents to include the (1) Notice of Award; (2) Contract; (3) Arizona Statutory Payment Bond; (4) Arizona Statutory Performance Bond; and (5) Notice to Proceed.

C. General Conditions

D. Technical Specifications

E. Addenda to the Plans and Specifications, if any

F. Project Construction Plans

G. Uniform Standard Specifications for Public Works Construction, latest edition as administered by the Maricopa Association of Governments.

The above-named documents are essential parts of this CONTRACT, and a requirement occurring in one is as binding as though occurring in all. They are intended to be complimentary and to describe and provide for a complete work. CONTRACTOR agrees to be bound by all terms, conditions, covenants, and obligations in the CONTRACT DOCUMENTS as if each were again fully set forth verbatim herein. In the event any document conflicts or contradicts this instrument, this instrument shall be controlling.

2. The date of commencement of the project shall be the date fixed in the "Notice to Proceed" issued by the City of Page. The Contract Time shall be measured from the date of commencement.

The CONTRACTOR shall achieve substantial completion of the entire project not later than SEPTEMBER 30, 2023, subject to adjustments of this contract time with approval of the CITY. The Parties acknowledge that time is of the essence and that completion of this project within the monetary and time constraints placed on the project is of utmost importance and CITY has considered and relied on CONTRACTOR'S representations as to its quality of service commitment in entering into this CONTRACT. The Parties further recognize that quantified standards of performance are necessary and appropriate to ensure that the project is completed competently within budget and on time. The Parties further recognize that if CONTRACTOR fails to achieve the performance standards, CITY and its residents will suffer damages and that it is and will be impracticable and extremely difficult to ascertain and determine the exact amount of damages that CITY will suffer. Therefore, the Parties agree that in the event the CONTRACTOR fails to complete this CONTRACT on or before the completion date as specified herein, liquidated damage shall be assessed in the amount of \$250.00 per day that the CONTRACT remains unfinished. This amount represents a reasonable estimate of the amount of such damages considering all of the circumstances existing on the date of this CONTRACT, including the relationship of the sums to the range of harm to CITY and its residents that reasonably could be anticipated and recognition that proof of actual damages would be costly or inconvenient.

3. PAYMENT. In consideration of the services specified in this CONTRACT, CITY agrees to pay CONTRACTOR in the manner hereinafter specified.

CONTRACTOR shall provide detailed documentation in support of requested progress payments in accordance with A.R.S. § 34-221. CITY shall then make payments in accordance with its obligation as provided by A.R.S. § 34-221. Any payments made shall not prevent the Owner from subsequently objecting to charges after payment therefore in appropriate cases, or from seeking reimbursement for any such charges. Retention will be in accordance with A.R.S. § 34-221.

In no event shall the total payment(s) paid to the CONTRACTOR under this CONTRACT exceed \$_____

Nothing in this CONTRACT shall create any obligation on the part of CITY to pay or see to the payment of any money due any subcontractor, except as may be required by law.

4. SCOPE OF SERVICES. CONTRACTOR shall provide for CITY all labor, materials and equipment necessary to perform THE WORK provided for in the CONTRACT DOCUMENTS. All

work shall be done in a skillful and workmanlike manner per specifications called for in the CONTRACT DOCUMENTS.

5. CONTRACTOR/SUBCONTRACTOR PERFORMANCE. CONTRACTOR shall perform the work in accordance with the terms of this CONTRACT and to the best of CONTRACTOR'S ability. CONTRACTOR agrees to exercise the skill and care, which would be exercised by comparable professional Contractors performing similar services at the time and in the locality such services are performed. Furthermore, CONTRACTOR shall perform the work or services in accordance with generally accepted methods and standards.

CONTRACTOR shall employ suitably trained and skilled personnel to perform all work or services under this CONTRACT. If failure to meet acceptable standards results in faulty work, CONTRACTOR shall undertake, at CONTRACTORS own expense, corrective adjustments, modifications, or repair.

CONTRACTOR shall be fully responsible for all acts and omissions of its subcontractor(s) and of persons directly or indirectly employed by subcontractor(s).

6. INSURANCE. CONTRACTOR, at his own expense, shall purchase and maintain the herein stipulated minimum insurance with companies duly licensed and subject to legal process within the State of Arizona, possessing a current A.M. Best, Inc. Rating of A- or better.

All insurance required herein shall be maintained in full force and effect until all work or services required to be performed under the terms of this CONTRACT is satisfactorily completed; failure to do so may, at the sole discretion of CITY, constitute a material breach of this CONTRACT.

CONTRACTOR's insurance shall be primary insurance in regard to the CITY, and any insurance or self-insurance maintained by CITY shall not contribute to it. The insurance policies shall contain a waiver of transfer rights of recovery (subrogation) against CITY, its agents, officers, officials and employees for any claims arising out of CONTRACTOR's acts, errors, mistakes, omissions, work or services. The City shall be named as an additional insured.

Prior to commencing work or services under this CONTRACT, CONTRACTOR shall furnish the CITY with Certificates of insurance, or formal endorsements as required by this CONTRACT, issued by CONTRACTOR's insurer(s), as evidence that policies providing the required coverage, conditions and limits required herein are in full force and effect. All Certificates of Insurance shall be identified with the bid number and title.

If a policy does expire during the life of this CONTRACT, a renewal certificate must be sent to CITY fifteen days prior to the expiration date. Insurance required herein shall not expire, be cancelled, or materially changed without thirty (30) days written notice to CITY.

The CONTRACTOR shall carry at all times the following insurance coverage:

Comprehensive Commercial General Liability:

Limits: Combined single Limit Bodily Injury/Property damage- not less than \$1,000,000.

Automobile Liability:

Limits: Bodily Injury- \$250,000 each person
\$500,000 each occurrence
Property Damage- \$100,000 each occurrence

Workers' Compensation:

The CONTRACTOR shall carry Workers' Compensation insurance to cover obligations imposed by federal and state statutes having jurisdiction over the Contractor's employees engaged in the performance of the work or services; and Employer's Liability insurance of not less than \$100,000 for each accident, \$100,000 disease for each employee, and \$500,000 disease policy limit.

In case any work is subcontracted, this CONTRACT will require the Subcontractor to provide Workers' Compensation and Employer's Liability to at least the same extent as required of this CONTRACTOR.

7. INDEMNIFICATION. To the fullest extent permitted by law, CONTRACTOR shall indemnify, defend and hold harmless CITY, its agents, officers, officials and employees from and against any and all claims, demands, suits, actions, proceedings, loss, cost and damages of every kind and description, including any reasonable attorney fees, which may be brought or made against or incurred by CITY on account of (1) loss or damage to any property or interest of CITY, its officers, employees and agents, or any damages, injury to person or property, or death of any person arising out of, relating to, or alleged to have resulted from any acts, errors, omissions, work, or services of CONTRACTOR, its employees, agents, representatives, or subcontractors, their employees, agents, or representatives, (2) any workers' compensation claims, unemployment compensation claims or unemployment disability claims of employees of CONTRACTOR or claims under similar such laws or obligations. This indemnification shall not extend to any loss, damage, injury, or death to the extent caused by the negligence or willful misconduct of CITY, or its employees.

The amount and type of insurance coverage requirements set forth within this CONTRACT shall in no way be construed as limiting the scope of the indemnity as set forth herein.

8. INDEPENDENT CONTRACTOR STATUS. Both parties agree that: (a) the work contracted for in this CONTRACT falls within the distinct nature of CONTRACTOR'S business; (b) the nature of the work contained within this CONTRACT is specialized, and CITY has elected to contract out the work rather than attempt to perform the work with its current workforce; (c) CONTRACTOR is an incorporated business that possesses the personnel and materials necessary to perform the work; (d) the relationship of the work provided by CONTRACTOR has no relationship to the regular business conducted by CITY; (e) it is understood and agreed that CONTRACTOR is an independent contractor, and nothing herein contained shall constitute, create, give rise to, or otherwise recognize an employment relationship, joint venture, partnership, or formal business association or organization of any kind between the parties hereto, other than as contracting parties, nor shall CONTRACTOR or any subcontractor, or any employee of CONTRACTOR or any subcontractor be deemed to be employed by CITY or entitled to any remuneration or other benefits from the CITY, other than as set forth in this CONTRACT.

9. ASSIGNMENT. CONTRACTOR shall not assign its rights to this CONTRACT, in whole or in part, without prior written approval of CITY. Approval may be withheld at the sole discretion of CITY, provided that such approval shall not be unreasonably withheld.

10. AUTHORITY TO CONTRACT. CONTRACTOR warrants its right and power to enter into this CONTRACT. If any court or administrative agency determines that CITY does not have authority to enter into this CONTRACT, CITY shall not be liable to CONTRACTOR or any third party by reason of such determination or by reason of this CONTRACT.

11. CANCELLATION FOR CONFLICT OF INTEREST. This CONTRACT is subject to cancellation for conflict of interest pursuant to A.R.S. § 38-511, the pertinent provisions of which are incorporated into this CONTRACT by reference.

12. TERMINATION OF CONTRACT FOR CAUSE. If, through any cause, CONTRACTOR shall fail to fulfill in timely and proper manner its obligations under this CONTRACT, or if CONTRACTOR shall violate any of the covenants, provisions, or stipulations of this CONTRACT, CITY shall thereupon have the right to terminate this CONTRACT by giving written notice to CONTRACTOR of such termination and specifying the effective date thereof, at least ten (10) days before the effective date of such termination.

In such event, all finished or unfinished documents, data, studies, surveys, drawings, maps, models, photographs, and reports prepared by CONTRACTOR shall, at the option of CITY, become its property and CONTRACTOR shall be paid an amount based on time and expenses incurred by CONTRACTOR prior to the termination date; however, no payment shall be allowed for anticipated profits on unperformed work or services. Notwithstanding the above, CONTRACTOR shall not be relieved of liability to CITY for damages sustained by CITY by virtue of any breach of this CONTRACT by CONTRACTOR and CITY may withhold payments to CONTRACTOR for purpose of set-off until such time as the exact amount of damages due the CITY from CONTRACTOR are determined.

13. TERMINATION FOR CONVENIENCE. CITY may terminate this CONTRACT at any time by giving written notice to CONTRACTOR of such termination and specifying the effective date thereof, at least thirty (30) days before the effective date of such termination. If this CONTRACT is terminated by CITY as provided herein, CONTRACTOR shall be paid an amount based on the time and expense incurred by CONTRACTOR prior to the termination date, however, no payment shall be allowed for anticipated profit on unperformed work or services.

14. NON-APPROPRIATION OF FUNDS. Notwithstanding any other provision of this CONTRACT, this CONTRACT may be terminated without penalty to the CITY, if for any reason there are not sufficient appropriated and available monies for the purpose of maintaining CITY or other public entity obligations under this CONTRACT. CITY shall have no further obligation to CONTRACTOR, other than to pay for services rendered prior to termination.

15. WARRANTY. CONTRACTOR warrants that work performed will conform to the CONTRACT DOCUMENTS and is free of any defect in equipment, material or design furnished, or workmanship performed by the CONTRACTOR or any of its subcontractors or suppliers at any tier. This warranty shall continue for a period of one (1) year from the date of final acceptance of the WORK. CONTRACTOR shall remedy at CONTRACTOR'S expense any failure to conform, or any defective work.

16. REMEDIES. Either party may pursue any remedies provided by law for breach of this CONTRACT. No right or remedy is intended to be exclusive of any other right or remedy and each shall be cumulative and in addition to any other right or remedy existing at law or at equity or by virtue of this CONTRACT.

17. WAIVER. Failure of either party to insist on one or more instances upon the full and complete compliance with any of the terms or provisions of this CONTRACT to be performed on the part of the other, or to take any action permitted as a result thereof, shall not be construed as a waiver or relinquishment of the right to insist upon full and complete performance of the same, or any other covenant or condition, either in the past or in the future. The Acceptance by either party of sums less than may be due and owing it at any time shall not be construed as an accord and satisfaction.

18. CHOICE OF LAW/VENUE. Any dispute, controversy, claim or cause of action arising out of or related to this CONTRACT shall be governed by Arizona law. The venue for any such dispute shall be in Coconino County, Arizona. Each party waives the right to object to venue in Coconino County for any reason.

19. ENTIRE AGREEMENT. This CONTRACT constitutes the entire agreement between the parties pertaining to the subject matter hereof, and all prior or contemporaneous agreements and understandings, oral or written, are hereby superseded and merged herein. This CONTRACT may be modified, amended, altered or extended only by a written amendment signed by the parties. Additionally, nothing in the CONTRACT shall be deemed to guarantee CONTRACTOR a minimum amount of rentals, services, or business to the CITY.

20. A.R.S. § 41-4401. The contractor warrants compliance with all Federal immigration laws and regulations relating to employees and subcontractors and warrants its compliance with A.R.S. § 41-4401 including the E-verify program. A breach of this section shall be deemed a material breach of the CONTRACT that is subject to penalties up to and including termination of the CONTRACT. CITY retains the legal right to inspect the papers of CONTRACTOR or any subcontractor employee who works on the CONTRACT to ensure compliance with this provision.

21. CONSTRUCTION OF THIS CONTRACT. This CONTRACT shall be construed and interpreted according to its plain meaning, and no presumption shall be deemed to apply in favor of, or against the party drafting this CONTRACT. The parties acknowledge and agree that each has had the opportunity to seek and utilize legal counsel in the review of and entry into this CONTRACT.

22. NOTICES. All notices, requests, demands, payments and other communications hereunder shall be in writing and shall be deemed given if personally delivered or mailed, certified mail, return receipt requested, or sent by overnight carrier to the following address on the date received:

City of Page

697 Vista Avenue
P.O. Box 1180
Page, Arizona 86040

Contractor:

23. Pursuant to A.R.S. § 35-393 et seq., Contractor certifies that it is not currently engaged in, and agrees for the duration of this Contract not to engage in, a boycott of Israel.

IN WITNESS WHEREOF, the parties have executed this CONTRACT on the dates set forth below.

City of Page

An Arizona municipal corporation

Contractor:

By: _____

By: _____

Date: _____

Date: _____

Attested By:

Approved as to Form:

Kim Larson, City Clerk

City Attorney

2-3 ARIZONA STATUTORY PAYMENT BOND

PROJECT LAKE POWELL NATIONAL CLUBHOUSE ADDITION

**CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040**

PURSUANT TO TITLE 34, ARIZONA REVISED STATUTES, (Penalty of this bond must be 100% of this CONTRACT amount), KNOW ALL MEN BY THESE PRESENTS THAT:

_____(hereinafter "Principal"), as Principal, and _____(hereinafter "Surety"), a corporation organized and existing under the laws of the State of _____, with its principal offices in the City of _____, holding a certificate of authority to transact surety business in Arizona issued by the Director of the Department of Insurance pursuant to Title 20, Chapter 2, Article 1, as Surety, are held and firmly bound unto the City of Page, Arizona (hereinafter "Obligee"), in the amount of \$_____, for the payment whereof, Principal and Surety bind themselves, and their heirs, administrators, executors, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has entered into a certain written CONTRACT with Obligee, dated the ____ day of _____, 2023, for the work titled above, which contract is hereby referred to and made part hereof as fully and to the same extent as if copied at length herein.

NOW, THEREFORE, THE CONDITION OF THE OBLIGATION IS SUCH, that if the Principal promptly pays all monies due to all persons supplying labor or materials to the Principal or the Principal's subcontractors in the prosecution of the work provided for in the contract, this obligation is void. Otherwise, it remains in full force and effect.

PROVIDED, HOWEVER, that this bond is executed pursuant to the provisions of Title 34, Chapter 2, Article 2, Arizona Revised Statutes, and all liabilities on this bond shall be determined in accordance with the provisions, conditions and limitations of Title 34, Chapter 2, Article 2, Arizona Revised Statutes, to the same extent as if it were copied at length in this agreement.

The prevailing party in a suit on this bond shall recover as part of the judgment reasonable attorney fees that may be fixed by the court.

Witness our hands this _____ day of _____, 20____.

By _____ (Principal)

By _____ (Surety)

2-4 ARIZONA STATUTORY PERFORMANCE BOND

PROJECT

LAKE POWELL NATIONAL CLUBHOUSE ADDITION

CITY

**CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040**

PURSUANT TO TITLE 34, ARIZONA REVISED STATUTES, (Penalty of this bond must be 100% of this CONTRACT amount), KNOW ALL MEN BY THESE PRESENTS THAT:

_____(hereinafter "Principal"), as Principal, and _____(hereinafter "Surety"), a corporation organized and existing under the laws of the State of _____, with its principal offices in the City of _____, holding a certificate of authority to transact surety business in Arizona issued by the Director of the Department of Insurance pursuant to Title 20, Chapter 2, Article 1, as Surety, are held and firmly bound unto the City of Page, Arizona (hereinafter "Obligee"), in the amount of \$_____, for the payment whereof, Principal and Surety bind themselves, and their heirs, administrators, executors, successors and assigns, jointly and severally, firmly by these presents.

WHEREAS, the Principal has entered into a certain written CONTRACT with the Obligee, dated the __day of_____, 2023, for the work titled above, which contract is hereby referred to and made part hereof as fully and to the same extent as if copied at length herein.

WHEREAS, payment shall be made by Surety to Obligee upon failure of Principal to faithfully perform and fulfill all the undertakings, covenants, terms, conditions and agreements of the Contract regarding the performance of the contract and presentation of such to Surety by a claim, which has been prepared and signed by the Obligee's representative and witnessed by a notary, stating that: "The Principal is in default, such condition has existed for over 90 days, and the Obligee is hereby exercising its rights under bond no.____."

NOW, THEREFORE, THE CONDITION OF THE OBLIGATION IS SUCH, that if the Principal faithfully performs and fulfills all of the undertakings, covenants, terms, conditions and agreements of the contract during the original term of the contract and any extension of the contract, with or without notice to the Surety, and during the life of any guaranty required under the contract, and also performs and fulfills all of the undertakings, covenants, terms, conditions and agreements of all duly authorized modifications of the contract that may hereafter be made, notice of which modifications to the Surety being hereby waived, the above obligation is void. Otherwise, it remains in full force and effect.

PROVIDED, HOWEVER, that this bond is executed pursuant to the provisions of Title 34, Chapter 2, Article 2, Arizona Revised Statutes, and all liabilities on this bond shall be determined in accordance with the provisions, conditions and limitations of Title 34, Chapter 2, Article 2, Arizona Revised Statutes, to the same extent as if it were copied at length in this agreement.

The prevailing party in a suit on this bond shall recover as part of the judgment reasonable attorney fees that may be fixed by the court.

Witness our hands this _____ day of _____, 20____.

By _____ (Principal)

By _____ (Surety)

2-5 NOTICE TO PROCEED

PROJECT LAKE POWELL NATIONAL CLUBHOUSE ADDITION

CITY CITY OF PAGE
697 VISTA AVENUE
PAGE, ARIZONA 86040

CONTRACTOR _____

DATE _____

You are hereby authorized to proceed with work effective _____, 2023 and fully complete all work for this Project on August 30, 2023. Liquidated damages of \$ One Hundred Twenty Five Dollars (\$250.00) per day are applicable for each day past August 30, 2023, for which work on this Project is not complete, unless otherwise provided.

Kyle Christiansen
Director of public works

RECEIVED AND ACCEPTED BY CONTRACTOR:

By _____
Name _____
Date _____

3 GENERAL CONDITIONS

3-1	GENERAL CONDITIONS.....	33
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3-1 GENERAL CONDITIONS

The following Provisions are general in scope and may refer to conditions which will not be encountered in the performance of THE WORK included in this CONTRACT and which are not applicable thereto. Any requirements, provisions or other stipulation of these General Conditions which pertain to a non-applicable condition shall be excluded from the scope of this CONTRACT.

1. **DEFINITIONS.** Whenever in these Bid Documents, or in any document of instruction where these Bid Documents govern, the following terms or pronouns in place of them are used, the intent and meaning shall be interpreted as follows:

Bid: The offer of the BIDDER for the work when properly made out on forms containing the Bid Form supplied by CITY and properly submitted signed and guaranteed.

Bid Documents: Consists of all CONTRACT DOCUMENTS and may be used interchangeably with said term.

Bidder: Any individual, firm or corporation, qualified as herein provided, legally submitting a Bid for the work contemplated, acting directly or through an authorized representative.

City: The CITY of Page, an Arizona municipal corporation.

Construction Documents: The drawings, technical plans, and specifications, supplementary general and/or special conditions for THE WORK.

Contract: The written agreement covering the performance of THE WORK and the furnishing of labor, equipment, and materials in the construction for THE WORK.

Contract Documents: Includes the Notice of Invitation for Bid, Definitions, Scope of Work and/or Plans, Drawings, and Technical Specifications, Instructions to Bidders, General Conditions, Special Conditions (if any), Arizona Statutory Bid Bond, Arizona Statutory Performance Bond, Arizona Statutory Payment Bond, Contract, Contractor's Reference List, List of Subcontractors & Material Vendors, Statement of Bidder Qualifications, Bid Form, Notice of Award, and Notice to Proceed.

Contractor: The successful BIDDER selected by the Council that enters into the CONTRACT to perform THE WORK.

Extra Work: Work, including materials, for which no price agreement is contained in the CONTRACT and which is deemed necessary for the proper completion of the work.

Notice of Award: The official written notice from CITY to the BIDDER selected by CITY to perform THE WORK.

Notice to Proceed: The official written notice from CITY to CONTRACTOR to begin performance of THE WORK.

Responsible Bidder: A BIDDER determined by CITY:

- A. To have the ability, capability, experience and skill to provide the goods and/or services in accordance with the bid specifications;
- B. To have the ability to provide the goods and/or services promptly, or within the time specified, without delay or interference;
- C. To have equipment, facilities and resources of such capacity and location to enable the BIDDER to provide the goods and/or services;
- D. To be able to provide future maintenance, repair, parts and service for the use of the goods purchased, when applicable;
- E. To have the quality and adaptability of the materials, supplies or services required or necessary to the particular use; and
- F. To possess the financial resources to perform the CONTRACT.

Responsive Bidder: A BIDDER determined by CITY to have submitted a bid that conforms in all material respects to the requirements of the BID DOCUMENTS.

Special Conditions: Additional conditions to the General Conditions, which are conditions or requirements peculiar to the project under consideration. In the event Special Conditions are in conflict with the General Conditions, the Special Conditions shall be controlling.

Surety: The corporate body, who is primarily liable, that agrees to be responsible for the payment of all debts pertaining to the acceptable performance of the work for which the CONTRACTOR has contracted.

The Work: All of the work or services, including the labor and materials, specified in the CONTRACT DOCUMENTS.

2. **CERTIFICATION.** By signature of the Bid Form, BIDDER certifies:

- A. The submission of the BID did not involve collusion or other anti-competitive practices.
- B. The BIDDER shall not discriminate against any employee, or applicant for employment in violation of Federal Executive Order 11246, or A.R.S. § 31-1461 et seq.
- C. The BIDDER has not given, offered to give, nor intends to give at any time hereafter, any economic opportunity, future employment, gift, loan, gratuity, special discount, trip, favor, or service to a public servant in connection with the submitted BID.
- D. The BIDDER submitting the offer hereby certifies that the individual signing the BID is an authorized agent for the BIDDER and has authority to bind the BIDDER to the CONTRACT.
- E. That no person has been employed or retained to solicit or secure this CONTRACT upon an agreement or understanding for a commission, percentage, brokerage or contingency fee, and that no member of the CITY Council or CITY employee has any interest, financial or otherwise, in the Contracting firm.

3. COMPLIANCE WITH LAW. The CONTRACTOR, in the execution of THE WORK, shall conform to all applicable Federal, State, and local laws, rules and regulations. If CONTRACTOR observes that the CONSTRUCTION DOCUMENTS are at variance therewith, it shall promptly notify CITY in writing, and any necessary changes shall be made as provided in this CONTRACT for changes in work. CONTRACTOR shall bear all costs arising from work performed contrary to such laws, rules and regulations, and without such notice to CITY.

4. LICENSES. THE WORK to be performed under the CONTRACT will be subject to the provisions on Title 34 of the Arizona Revised Statutes (A.R.S. § 34-101 through 34-461, as amended), if applicable. All BIDDERS and their subcontractors shall be duly licensed to perform THE WORK at the time the BID is submitted pursuant to all applicable laws, rules and regulations. At all times thereafter, while performing THE WORK, CONTRACTOR shall maintain in current status all licenses, permits, certifications, approvals and authorizations necessary to perform all obligations as set forth in the BID DOCUMENTS. It shall be the CONTRACTOR's responsibility to verify that its subcontractors have all appropriate licenses, permits, certifications, approvals and authorizations prior to their performing CITY of Page work on behalf of the CONTRACTOR.

5. PROVISIONS REQUIRED BY LAW. All applicable Federal, State and local laws, rules and regulations of all authorities having jurisdiction over construction for the project shall apply to the CONTRACT throughout, and they shall be deemed to be included in the CONTRACT the same as if each were fully set forth verbatim herein. Contractor shall be familiar with and at all times shall observe said laws, rules and regulations.

6. CHANGE ORDERS FOR CHANGED OR EXTRA WORK. The CITY reserves the right at any time during the progress of THE WORK to make necessary alterations of, deviations from, additions to, or deletions from the CONTRACT, or may require the performance of EXTRA WORK neither covered by the specifications nor included in the BID, but forming a part of THE WORK contracted for; provided however, the CONTRACTOR shall not proceed with any such change or EXTRA WORK without a written CHANGE ORDER approved by the CITY. Adjustments, if any, in the amount to be paid to the CONTRACTOR by reason of any such change shall be agreed upon by the Parties prior to issuance of the CHANGE ORDER.

No claim for any changed or EXTRA WORK of any kind shall be allowed unless the work is ordered and approved in writing by the CITY in the form of a CHANGE ORDER. No anticipated profits shall be allowed for work deleted.

In the event any written instructions appear to the CONTRACTOR to involve a change or EXTRA WORK for which, in his opinion, he should receive extra compensation, he shall make a written request to the Department Director named herein, or his properly authorized agent, for a written CHANGE ORDER. The matter shall then be submitted to the CITY for final determination as to whether or not a change or EXTRA WORK was involved, and if so, the amount due to the CONTRACTOR. Any claim for extra cost pursuant to this provision, together with supporting documents and receipts must be filed within ten (10) consecutive calendar days after performing the work for which the extra cost is claimed.

If CONTRACTOR, in the course of THE WORK, finds any discrepancy between the CONSTRUCTION DOCUMENTS and the physical conditions of the locality, or any errors or

omissions in the CONSTRUCTION DOCUMENTS or in the layout as given by points and instructions, it shall be CONTRACTOR's duty to immediately inform CITY, in writing, and CITY shall promptly verify the same. Any work done after such discovery, until authorized in writing, shall be done at CONTRACTOR's risk.

7. PROTECTION OF WORK/PROPERTY. The CONTRACTOR, at no additional expense to CITY, shall at all times safely guard and protect Contractor's own work; provide, erect, and maintain suitable barriers around all excavations or obstructions to prevent accidents; and provide, place and maintain during the night sufficient lights, signals, and signs for this purpose on or near the work. The CONTRACTOR shall at all times, until its completion and final acceptance, protect his work apparatus, equipment, and material from accidental or other damage; and make good any damages thus occurring at no additional cost to CITY.

The CONTRACTOR, at no additional expense to the CITY, shall at all times be responsible for the preservation of all public and private property on the surface and subsurface, along and adjacent to the work and shall conduct its operations so as to insure the prevention of injury or damage thereto. In the event damage or injury is done to public or private property on account of any act, omission, neglect, or misconduct in the execution of THE WORK, such property shall be restored by CONTRACTOR.

CONTRACTOR shall exercise care to protect from injury all water lines, sanitary sewer lines, gas mains, telephone cables, electric cables, services pipes, and all other utilities and fixtures which may be encountered during the progress of work. All utilities and other service facilities or fixtures if damaged, shall be repaired by CONTRACTOR without additional compensation.

Until written final acceptance of the work by CITY, CONTRACTOR shall be responsible for and take every precaution against injury or damage to any part of THE WORK from any cause, whether arising from the execution or non-execution of THE WORK. CONTRACTOR shall rebuild, repair, restore, and make good all injuries or damages of any portion of THE WORK occasioned by any cause, with the exception of negligence or willful misconduct of the CITY, before final acceptance and shall bear the expense thereof.

8. SUBCONTRACTS. CONTRACTOR agrees that it is as fully responsible to CITY for the acts and omissions of its subcontractors and of persons either directly or indirectly employed by them, as it is for the acts and omissions of persons directly employed by it.

9. CLEAN UP. CONTRACTOR shall, as directed by CITY, remove from CITY's property and from all public and private property, at its own expense, all temporary structures, rubbish, and waste materials resulting from its operation. All surplus materials and all materials and equipment removed and not reused as a condition of this CONTRACT shall remain or become the property of the CONTRACTOR, unless otherwise so stated in writing.

10. CITY'S RIGHT TO DO WORK. If CONTRACTOR should neglect to prosecute THE WORK properly or fail to perform any provision of this CONTRACT, CITY, after notice to CONTRACTOR, may, without prejudice to any other remedy it may have, make good such deficiencies and may deduct the cost thereof from the payment then or thereafter due CONTRACTOR.

11. SCHEDULES. CONTRACTOR shall submit at such times as may be requested by CITY, schedules which shall show the order in which CONTRACTOR proposes to carry on THE WORK with dates at which CONTRACTOR shall start the several parts of THE WORK and estimated dates of completion of the several parts.

12. OWNERSHIP OF DOCUMENTS. All original drawings, boring logs, field data, estimates, field notes, plans, specifications, documents, reports, calculations, maps and models, and other information developed by CONTRACTOR under this CONTRACT shall vest in and become the property of CITY and shall be delivered to CITY upon completion or termination of the services, but CONTRACTOR may retain record copies thereof.

13. INSPECTION OF WORK. CITY representatives shall at all times have access to THE WORK wherever it is in preparation or progress. If the specifications, CITY's instructions, laws, ordinances, or any public authority, require any work be specifically tested or approved, CONTRACTOR shall give CITY timely notice of its readiness for inspection and if the inspection is by an authority other than CITY, of the date fixed for such inspection. Inspections by CITY shall be promptly made, and where practicable at the source of the supply. If any work should be covered up without approval or consent of CITY, it must, if required by CITY, be uncovered for inspection at CONTRACTOR's expense.

Re-examination of questioned work may be ordered by CITY, and if so ordered the work must be uncovered by CONTRACTOR. If such work is found to be in accordance with the BID DOCUMENTS, CITY shall pay the costs of re-examination and replacement. If such work is found not to be in accordance with the BID DOCUMENTS, CONTRACTOR shall pay such.

4 CONSTRUCTION PLANS

LAKE POWELL NATIONAL CLUB HOUSE ADDITION

Location: 400 CLUBHOUSE DR. PAGE, AZ 86040
Project Number: 2208-076
Date: 03-31-2023



SHEET INDEX

SHEET #	DESCRIPTION
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G-001	TITLE SHEET
G-003	LIFE SAFETY PLAN
2-CIVIL	
C1.0	CIVIL COVER SHEET
C2.0	CIVIL SITE PLAN
C3.0	CIVIL DEMOLITION PLAN
C4.0	CIVIL GRADING & DRAINAGE PLAN
C5.0	CIVIL UTILITY PLAN
3-STRUCTURAL	
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S3	STRUCTURAL LOWER LEVEL FOOTING AND FOUNDATION
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S5	STRUCTURAL DETAILS
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A0.51	DEMOLITION PLAN UPPER FLOOR
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A-202	EXTERIOR ELEVATIONS
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A-302	BUILDING SECTIONS
A-501	ARCHITECTURAL DETAILS
A-502	ARCHITECTURAL DETAILS
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M102	ROOF MECHANICAL PLAN
M501	MECHANICAL DETAILS
M701	MECHANICAL SPECIFICATIONS
M702	MECHANICAL SPECIFICATIONS
M703	MECHANICAL SPECIFICATIONS
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E-001	ELECTRICAL SYMBOLS & NOTES
ED101	ELECTRICAL DEMO PLAN
E101	ELECTRICAL LIGHTING PLAN - GND LEVEL
E102	ELECTRICAL LIGHTING PLAN DECK LEVEL
E112	ELECTRICAL POWER PLAN - DECK LEVEL
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E501	ELECTRICAL DIAGRAMS
E601	ELECTRICAL SCHEDULES
E701	ELECTRICAL SPECIFICATIONS
E702	ELECTRICAL SPECIFICATIONS

CODE REVIEW AND DESIGN CRITERIA

Code Item Reference	Code Requirement	Actual Building Design
Occupancy Chapter 3	A-2 NON-SEPERATED	A-2 NON-SEPERATED
Construction Type Section 602	5B FULLY SPRINKLED	5B FULLY SPRINKLED
Allowable Floor Area Table 503	24,000 SQ. FT. PER FLOOR MAX	DECK ADDITION: 1,704 SF
Allowable Area Increase Section 506	NA	NA
Allowable Height Table 503, Section 504	2 STORIES 60'	1 STORY 44'-5 3/4"
Allowable Height Increase Section 504	NA	NA
Roof Covering Section 1505	CLASS "C" FIRE RESISTANCE	CLASS "C" FIRE RESISTANCE
Draft Stops Section 717	Exception 1 Not Required in buildings with sprinklers	Exception 1 Not Required in buildings with sprinklers
Egress Width Section 1005	With sprinkler system: (36" Minimum) Stairs 0.2/ Per Occupant Others 0.15/ Per Occ. 23" Required	72" Provided
Restroom Accessibility	ANSI A117.1-2003	1 accessible fixture type for each accessible restroom
Accessible Entrance Section 1105.1	At least 50% but not less than 1	Provided

PLUMBING FIXTURE COUNT

634 OCCUPANTS			
WATER CLOSETS	LAVS	DRINKING FOUNTAINS	SERVICE SINK
MEN 317 Occ. (1/125) = 3	1/200 = 2	1/500	1 REQUIRED
WOMEN 317 Occ. (1/65) = 5	1/200 = 2	2 REQUIRED	
PROVIDED			
MEN 4	2	2	5
WOMEN 4	2		
UNISEX 2	2		

THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE WAS USED FOR THE BUILDING CODE FOR THIS PROJECT

DEFERRED SUBMITTALS

SYMBOLS

	SECTION NUMBER SHEET NUMBER	WALL SECTION MARKER
	DETAIL NUMBER SHEET NUMBER	BUILDING SECTION
	DETAIL NUMBER SHEET NUMBER	DETAIL
	ROOM NUMBER	INTERIOR ELEVATION
	WINDOW TYPE	KEY NOTE OR MATERIAL CALL-OUT
	FEATURE ELEVATION	DOOR NUMBER
	DOOR NUMBER	WALL TYPE - SEE WALL TYPE SHEET A-1 FOR EXPLANATION
	INSULATION	
	HEIGHT OF WALL FIRE RATING	

KEY TO MATERIALS

COMPACTED GRANULAR FILL	
ASPHALT PAVING	
GROUT	
CONTINUOUS WOOD	
WOOD BLOCKING	
PLYWOOD	
FINISH WOOD	
INSULATION	
RIGID INSULATION	
GYPSTUM BOARD	
ACOUSTIC TILE	
MASONRY	
EARTH	

ARCHITECT

Campbell Architecture
46 North 200 East
St. George, Utah 84770
Architect: Kim Campbell
(435) 628-5969

CONSULTANTS

CIVIL

Rosenberg Associates
352 E. Riverside Dr.
Suite A2
St. George, Utah 84790
(435) 673-8586

STRUCTURAL

Rosenberg Associates
352 E. Riverside Dr.
Suite A2
St. George, Utah 84790
(435) 673-8586

MECHANICAL

Van Boerum & Frank Associates
330 S. 300 E.
Salt Lake City, Utah 84111
(801) 530-3148
Atten:

ELECTRICAL

Van Boerum & Frank Associates
330 S. 300 E.
Salt Lake City, Utah 84111
(801) 530-3148
Atten:

STAMP:

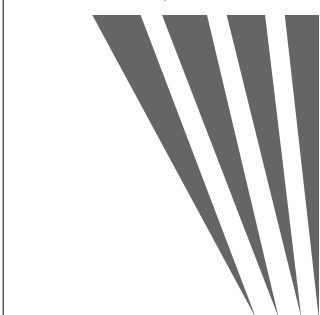
SUBMITTAL:

REVISIONS

campbe architecture

A J&D COMPANY

campbe des'gn.us



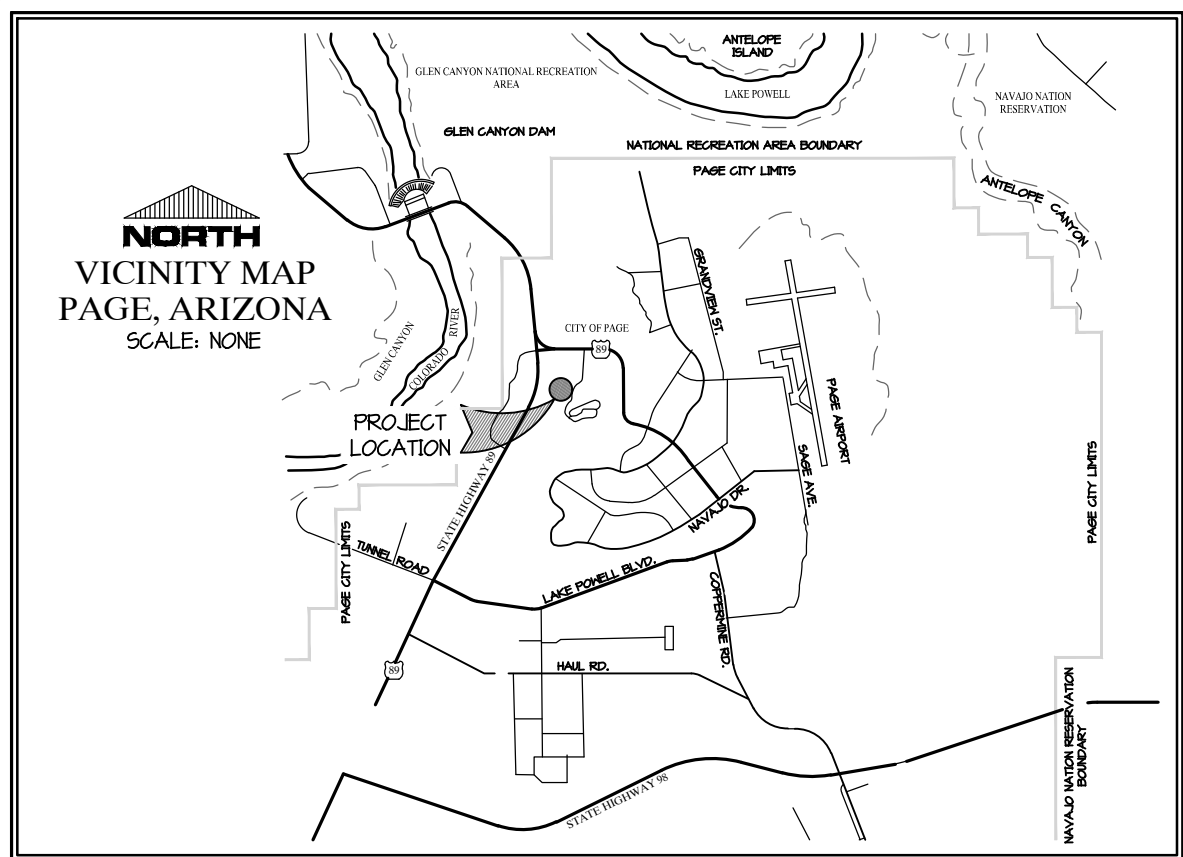
PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

TITLE SHEET

2208-076
PROJECT NUMBER

G-001
SHEET NO.



PROJECT LOCATION

THE PROJECT IS LOCATED AT:
CLUBHOUSE DRIVE
PAGE, ARIZONA

POWER

PAGE UTILITY ENTERPRISE
640 HAIL ROAD
PAGE, ARIZONA 86040
(928) 645-2491

WATER

PAGE UTILITY ENTERPRISE
640 HAIL ROAD
PAGE, ARIZONA 86040
(928) 645-2491

SEWER

PAGE UTILITY ENTERPRISE
640 HAIL ROAD
PAGE, ARIZONA 86040
(928) 645-2491

PROPANE

ALLIANT GAS, LLC
2000 EAST FRONTAGE ROAD
PAGE, ARIZONA 86040
(928) 645-2391

CATV SERVICE

SOUTH CENTRAL COMMUNICATIONS
155 5TH AVENUE
PAGE, ARIZONA 86040
(928) 660-0592
CONTACT: GARRETT EDWARDS

TELEPHONE

QUEST COMMUNICATIONS
PAGE, ARIZONA 86040
(928) 719-4440

OWNER/DEVELOPER/CONTACT

THE OWNER FOR THIS PROJECT IS:
CITY OF PAGE
641 VISTA AVENUE
PAGE, AZ 86040

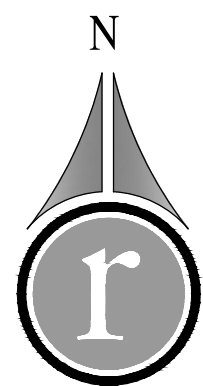
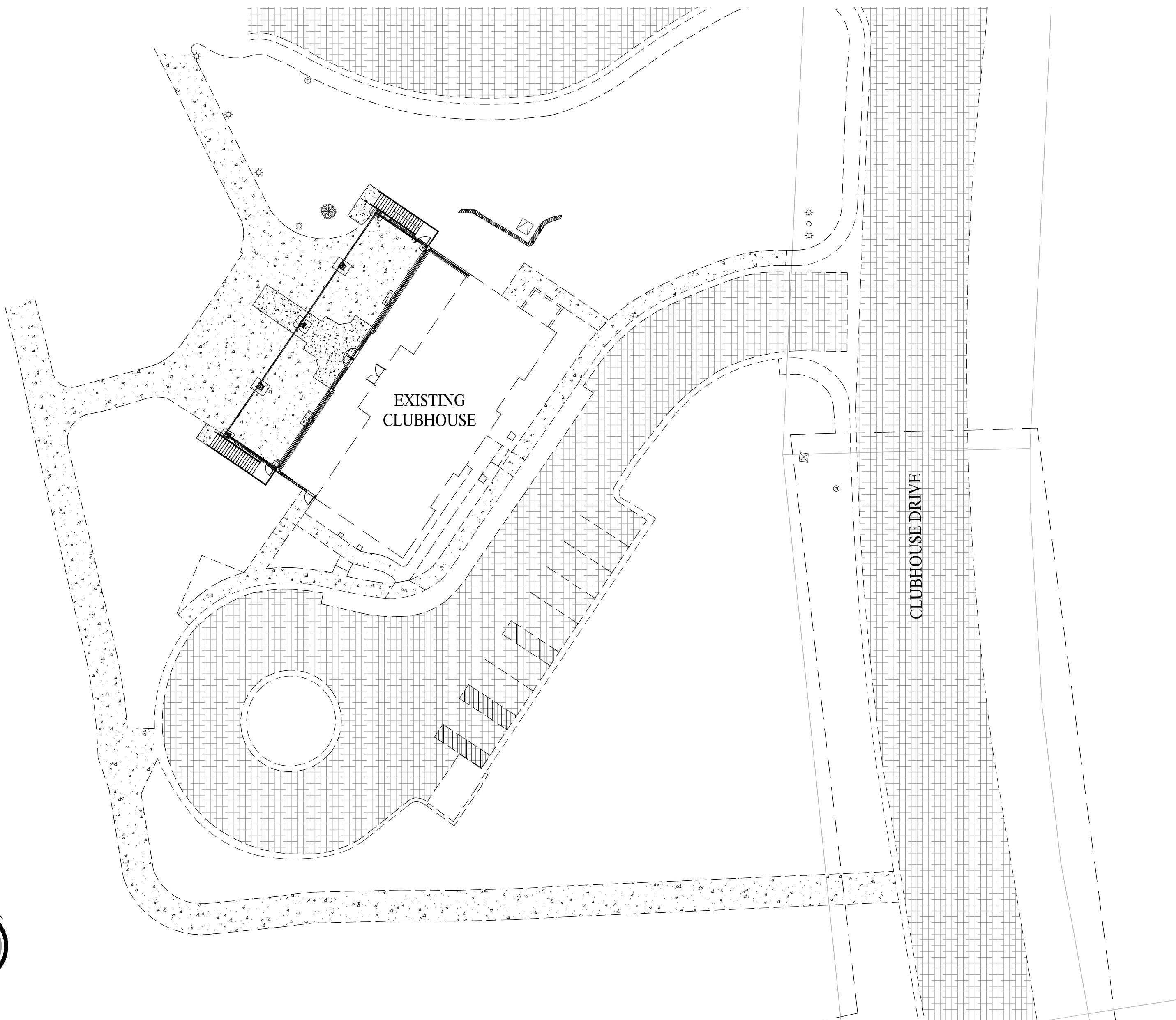
PROJECT LOCATION

THE PROJECT IS LOCATED AT:
CLUBHOUSE DRIVE
PAGE, ARIZONA

PROJECT ENGINEER

THE ENGINEER FOR THIS PROJECT IS:
ROSENBERG ASSOCIATES
MICHAEL S. ROBINSON
352 EAST RIVERSIDE DRIVE, SUITE A2
ST. GEORGE, UTAH 84790 (435) 673-8506

GOLF COURSE CLUBHOUSE - ADDITION



GENERAL LEGEND

	EXISTING 5' CONTOUR		EXISTING EASEMENT		EXISTING WATER METER
	EXISTING 1' CONTOUR		PROPOSED SEWER LATERAL (SIZE INDICATED ON PLAN)		PROPOSED WATER METER
	PROPOSED 5' CONTOUR		EXISTING SEWER MAIN		EXISTING SEWER MANHOLE
	PROPOSED 1' CONTOUR		PROPOSED WATER LINE (SIZE INDICATED ON PLAN)		EXISTING STORM DRAIN MANHOLE
	PROPOSED PAVEMENT SHALE		EXISTING WATER MAIN		PROPOSED TELEPHONE PEDESTAL
	PROPOSED STORM DRAIN PIPE		PROPOSED GAS LINE (SIZE INDICATED ON PLAN)		EXISTING CATV PEDESTAL
	EXISTING PAVEMENT		EXISTING GAS LINE		PROPOSED WATER VALVE
	PROPOSED PAVEMENT		TELEPHONE LINE		EXISTING WATER VALVE
	PROPOSED CONCRETE PAD/SIDEWALK		CATV LINE		PROPOSED FIRE HYDRANT
	PROPOSED ELEVATIONS		PROPOSED 3 PHASE POWER		EXISTING FIRE HYDRANT
	GRADING SLOPES		PROPOSED SECONDARY POWER		
	FLOW DIRECTION		EXISTING POWER		

THE CITY APPROVES THESE PLANS FOR CONCEPT ONLY.
THE CITY SHALL NOT BE LIABLE FOR ERRORS OR
OMISSIONS OF THE DESIGN ENGINEER.

APPROVALS

PLANNING & ZONING	DATE
BUILDING & SAFETY	DATE

GENERAL NOTES:

- ALL PROPERTY CORNERS SHALL BE STAKED/PINNED IF REQUIRED BY CITY.
- THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK PERFORMED IN A PUBLIC RIGHT-OF-WAY.
- ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER AND CITY PRIOR TO CONSTRUCTION.
- ALL WORK SHALL BE CONTAINED ON THE SUBJECT SITE ONLY. NO STOCKPILING OR CONSTRUCTION ACTIVITY SHALL OCCUR OFF OF THE APPROVED LOT AREA, WITHOUT PRIOR WRITTEN CONSENT.
- CONTRACTOR IS RESPONSIBLE FOR ALL ON-SITE DRAINAGE AND DETENTION.
- THE CONTRACTOR SHALL PROVIDE A TEMPORARY TRASH ENCLOSURE ON SITE DURING ALL CONSTRUCTION ACTIVITIES TO CONTAIN DEBRIS AND PREVENT AIRBORNE LITTERING OFF SITE.
- A WATER TRUCK SHALL BE USED ON SITE TO WET DOWN ALL EARTHWORK AND TO CONTROL AIRBORNE PARTICLES.
- UNLESS SHOWN OTHERWISE ON THESE PLANS, ALL CONSTRUCTION SHALL CONFORM TO "THE INTERNATIONAL PLUMBING CODE", AND THE "INTERNATIONAL BUILDING CODE" LATEST EDITIONS AS ADMINISTERED BY THE CITY OF PAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
- ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF PAGE, AND APPENDIX "J" OF THE "INTERNATIONAL BUILDING CODE", LATEST EDITION.
- OWNER/CONTRACTOR SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINS. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACEMENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT & GRADING PERMIT NUMBER.
- OWNER/CONTRACTOR SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING, OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICES INSPECTORS.
- ALL WORK AND MATERIALS SHALL MEET CITY OF PAGE STANDARDS AND/OR M.A.S. STANDARDS.
- ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

ENGINEER'S ACKNOWLEDGMENT:

I, Michael S. Robinson, Santa Clara, Utah do hereby certify that I am a Registered Professional Engineer as prescribed by the laws of the State of Arizona and that I hold Certificate of Registration (License) Number: 49894. I further certify that the design of this site plan was made under my direction and supervision and is accurately represented on these plans.

Date: 02/28/2023

Michael S. Robinson Certificate No. 49894

SHEET LAYOUT

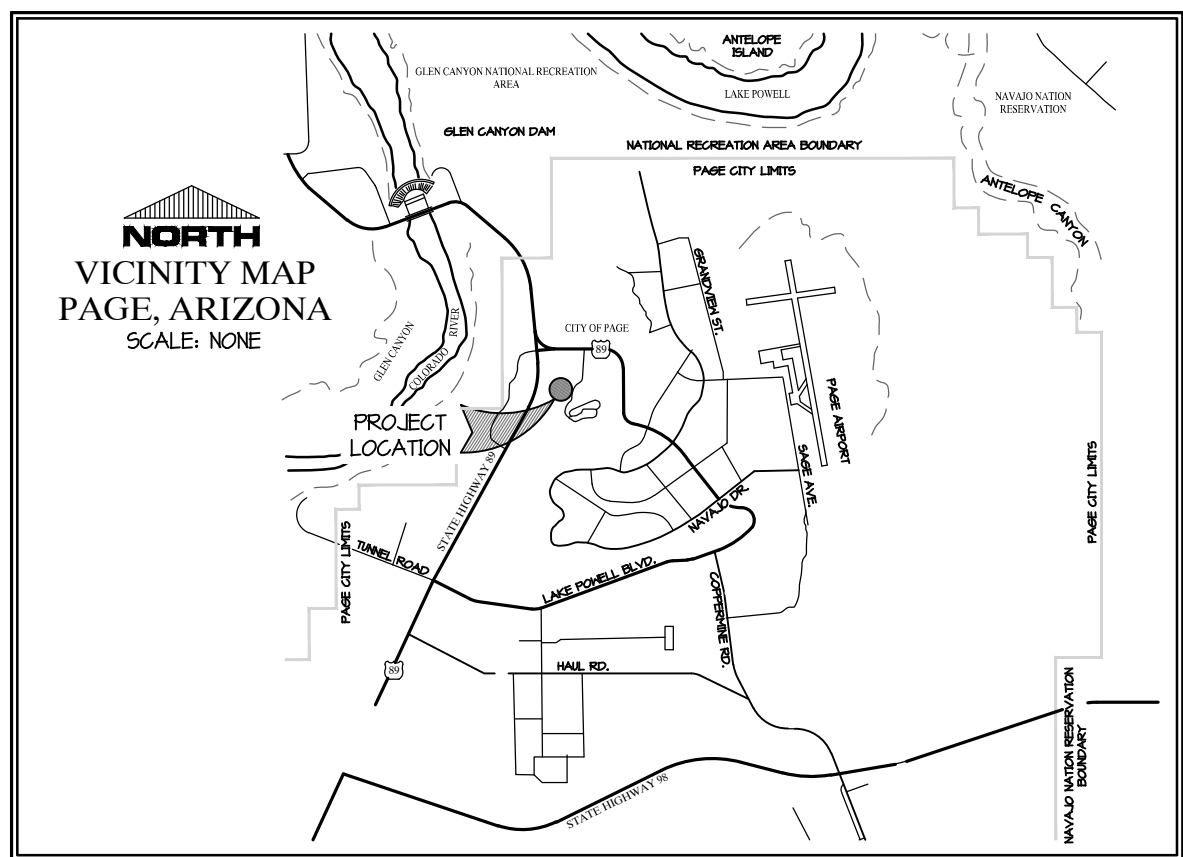
SHEET NUMBER	SHEET DESCRIPTION
--------------	-------------------

C1.0	COVER SHEET
C2.0	SITE PLAN
C3.0	DEMOLITION PLAN
C4.0	GRADING & DRAINAGE PLAN
C5.0	UTILITY PLAN

DATE: 02/28/2023
JOB NO.: 12448-22-004
DESIGNED BY: FMD
CHECKED BY: MSR
DWG: CONST DOCS
DATE:
REVISIONS:
ROSENBERG
A S S O C I A T E S
CIVIL ENGINEERS • LAND SURVEYORS
352 East Riverside Drive, Suite A-2
St. George, Utah 84790
Ph (435) 673-8506 Fx (435) 673-8397
www.rscivil.com

COVER SHEET
FOR
GOLF COURSE CLUB HOUSE ADDITION
PAGE, AZ.

EXP: 04/30/2024
SHEET
C1.0
1 OF 5 SHEETS



PROJECT LOCATION

THE PROJECT IS LOCATED AT:
CLUBHOUSE DRIVE
PAGE, ARIZONA

LANDSCAPE NOTE

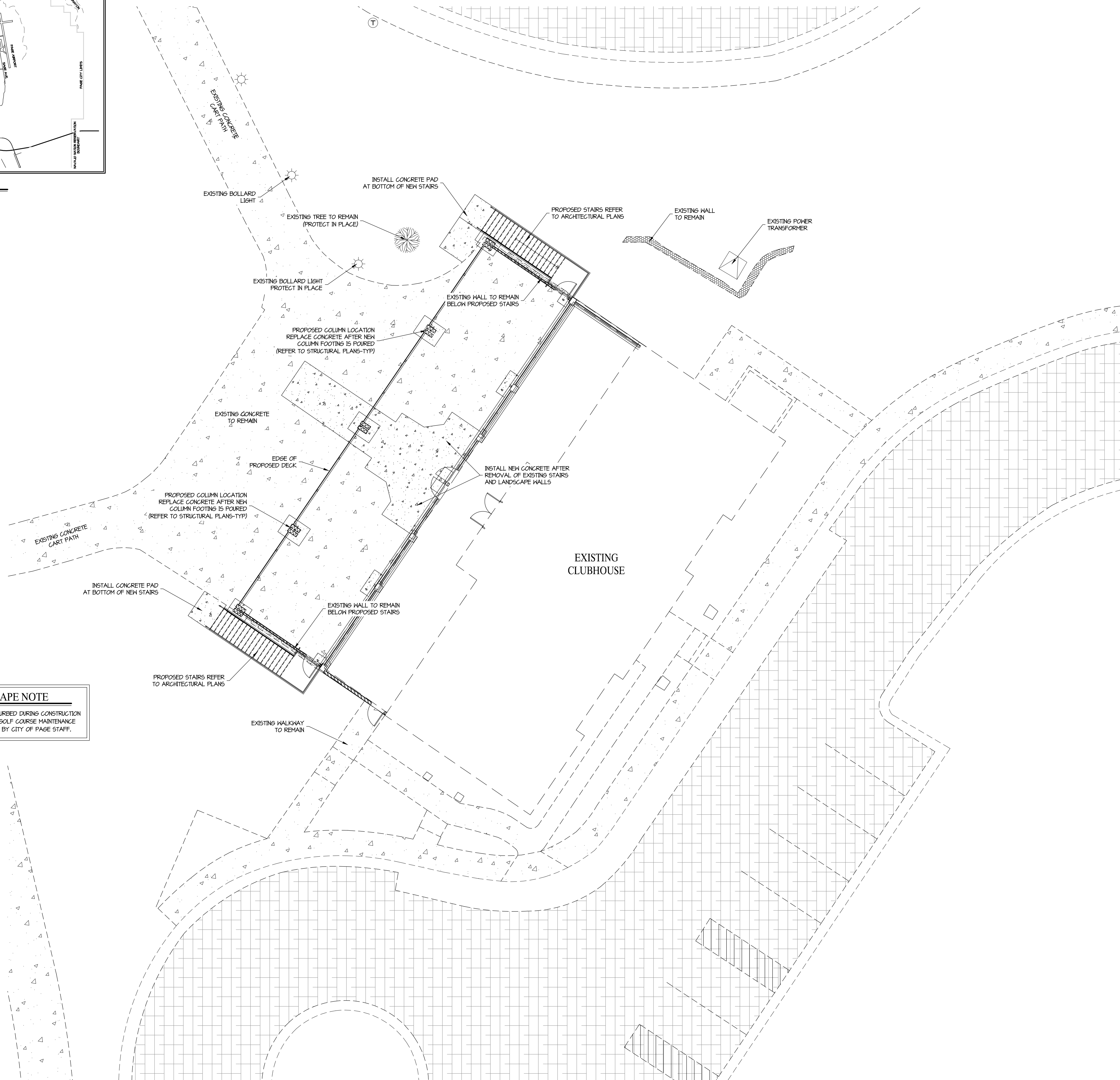
ALL LANDSCAPED DISTURBED DURING CONSTRUCTION
TO BE REPAIRED BY GOLF COURSE MAINTENANCE
CREW AS DIRECTED BY CITY OF PAGE STAFF.

CALL BEFORE YOU DIG!



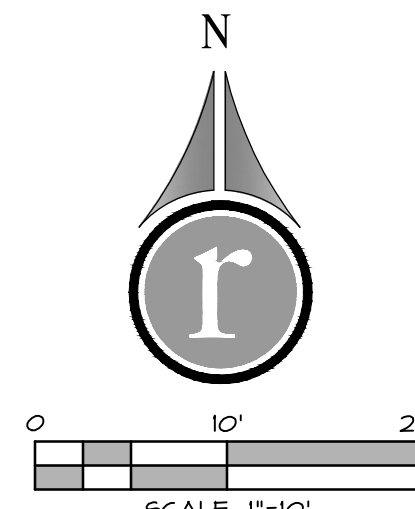
AT LEAST TWO WORKING
DAYS BEFORE YOU DIG CALL:
800-782-5348

NOTICE!
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE
CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR
IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL
UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR
UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY/ROAD EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING PAVEMENT
	EXISTING CONCRETE
	PROPOSED CONCRETE

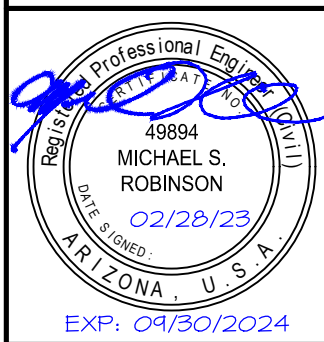


DATE:	02/28/2023
JOB NO.:	12448-22-004
DESIGNED BY:	FMD
CHECKED BY:	MSR
DWG:	CONST DOCS
DATE:	
REVISIONS:	

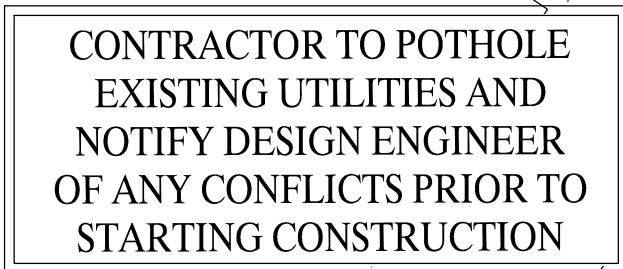
ROSENBERG
ASSOCIATES
CIVIL ENGINEERS • LAND SURVEYORS

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St. George, Utah 84790
Ph (435) 673-8886, Fx (435) 673-8397
www.rscivil.com

SITE PLAN FOR GOLF COURSE CLUB HOUSE ADDITION PAGE, AZ.

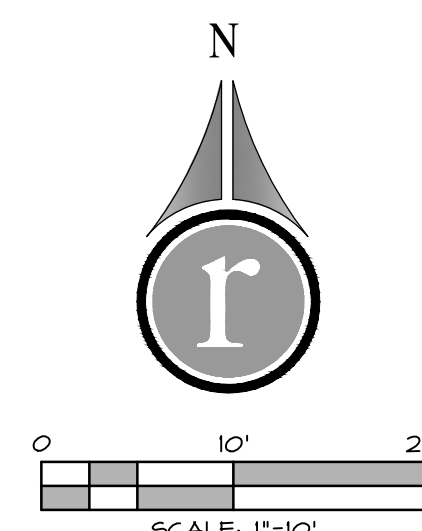


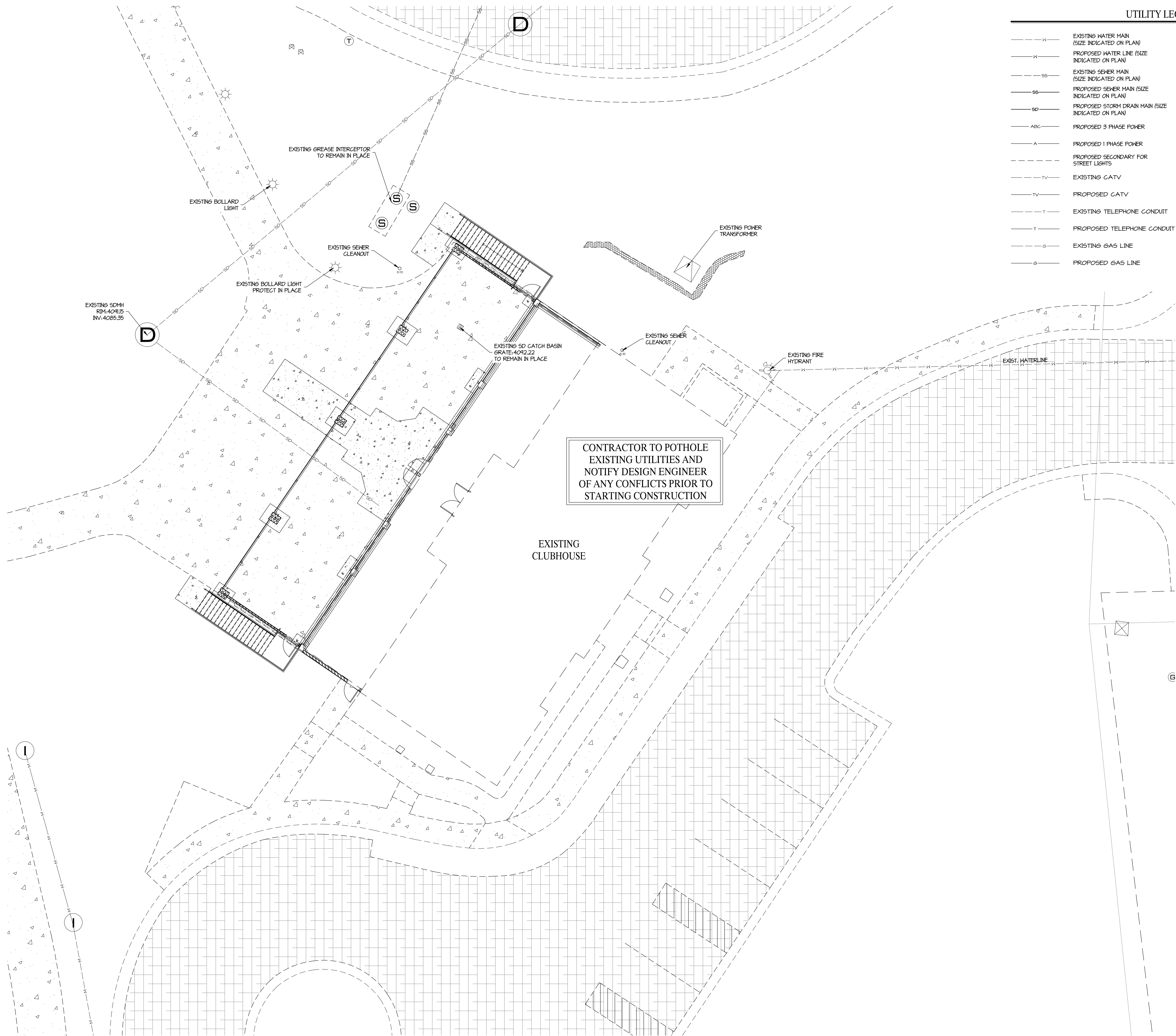
SHEET
C2.0
2 OF 5 SHEETS



NOTICE:
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OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE
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ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN
OR SHOWN INCORRECTLY.

4 OF 5 SHEETS





UTILITY LEGEND			
	EXISTING WATER MAIN (SIZE INDICATED ON PLAN)		EXISTING WATER VALVE
	PROPOSED WATER LINE (SIZE INDICATED ON PLAN)		EXISTING IRRIGATION METER
	EXISTING SEWER MAIN (SIZE INDICATED ON PLAN)		EXISTING IRRIGATION VALVE
	PROPOSED SEWER MAIN (SIZE INDICATED ON PLAN)		EXISTING FIRE HYDRANT
	PROPOSED STORM DRAIN MAIN (SIZE INDICATED ON PLAN)		EXISTING SEWER MANHOLE
	PROPOSED 3 PHASE POWER		EXISTING CLEANOUT
	PROPOSED 1 PHASE POWER		EXISTING STORM DRAIN MANHOLE
	PROPOSED SECONDARY FOR STREET LIGHTS		EXISTING CATCH BASIN GRATE
	EXISTING CATV		EXISTING BOLLARD LIGHT
	PROPOSED CATV		EXISTING POWER TRANSFORMER
	EXISTING TELEPHONE CONDUIT		
	PROPOSED TELEPHONE CONDUIT		
	EXISTING GAS LINE		
	PROPOSED GAS LINE		

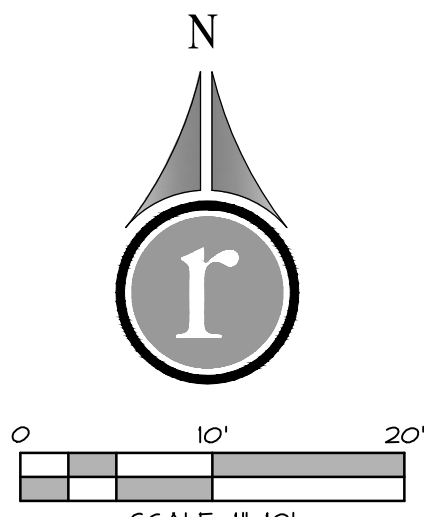
CONTRACTOR TO POTHOLE
EXISTING UTILITIES AND
NOTIFY DESIGN ENGINEER
OF ANY CONFLICTS PRIOR TO
STARTING CONSTRUCTION

EXISTING
CLUBHOUSE



Know what's below.
Call before you dig.

NOTICE:
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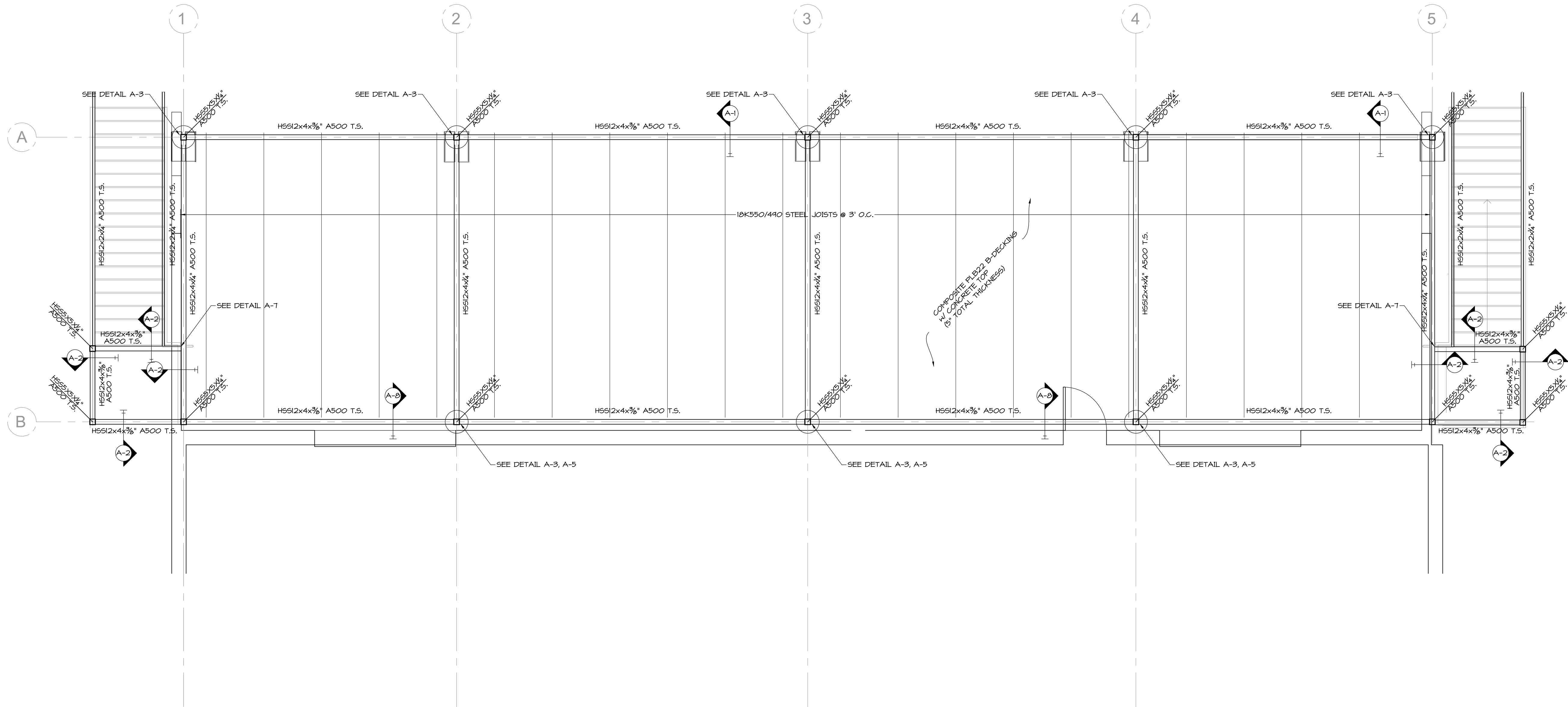
DATE:	02/28/2023
JOB NO.:	12448-22-004
DESIGNED BY:	FMD
CHECKED BY:	MSR
DWG:	CONST DOCS
DATE:	
REVISIONS:	

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www.rscivil.com

UTILITY PLAN
FOR
GOLF COURSE CLUB HOUSE ADDITION
PAGE, AZ.

Professional Engineer
49894
MICHAEL S. ROBINSON
02/28/23
EXP: 04/30/2024
SHEET
C5.0
5 OF 5 SHEETS



FLOOR FRAMING PLAN
SCALE: 1/4\" = 1'-0"

DATE:	01/12/2023
JOB NO.:	12448-22-004
DESIGNED BY:	KAS
CHECKED BY:	MSR
DWG:	12448-22-004
DATE:	
REVISIONS:	

ROSENBERG

A S S O C I A T E S

CIVIL ENGINEERS • LAND SURVEYORS

1

2014

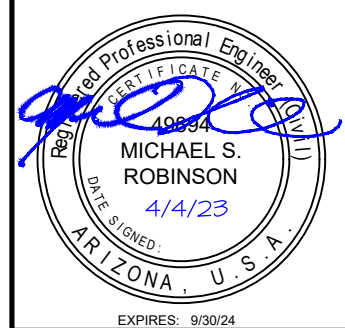
2019

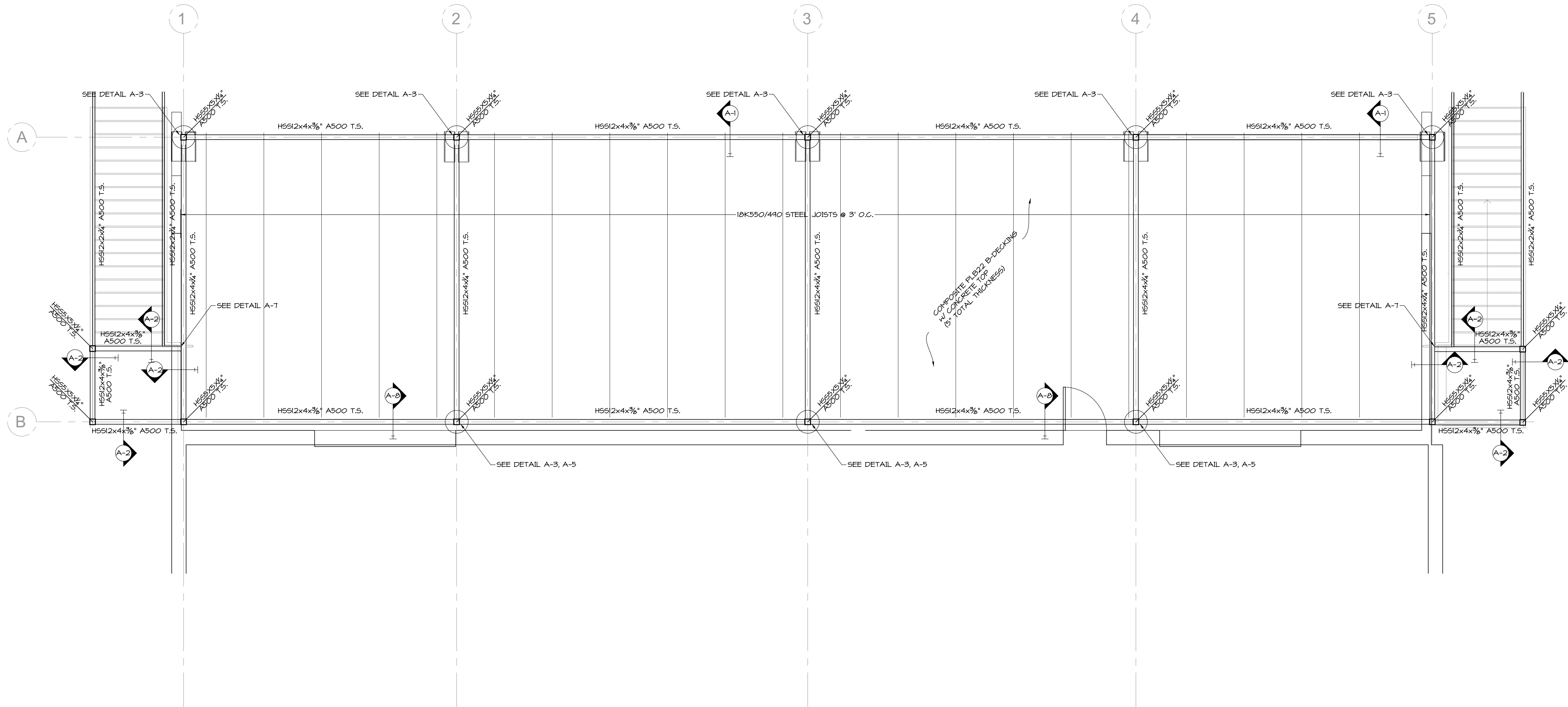
2014

2019

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St. George, Utah 84790
Ph (435) 673-8886; Fx (435) 673-8397
www.rscivil.com

FLOOR FRAMING PLAN
FOR
CAMPBELL ARCHITECTURE
PAGE CITY GOLF COURSE CLUBHOUSE
PAGE, AZ





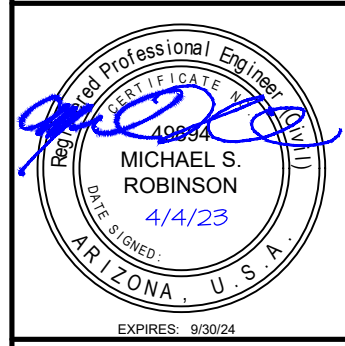
FLOOR FRAMING PLAN
SCALE: 1/4\" = 1'-0"

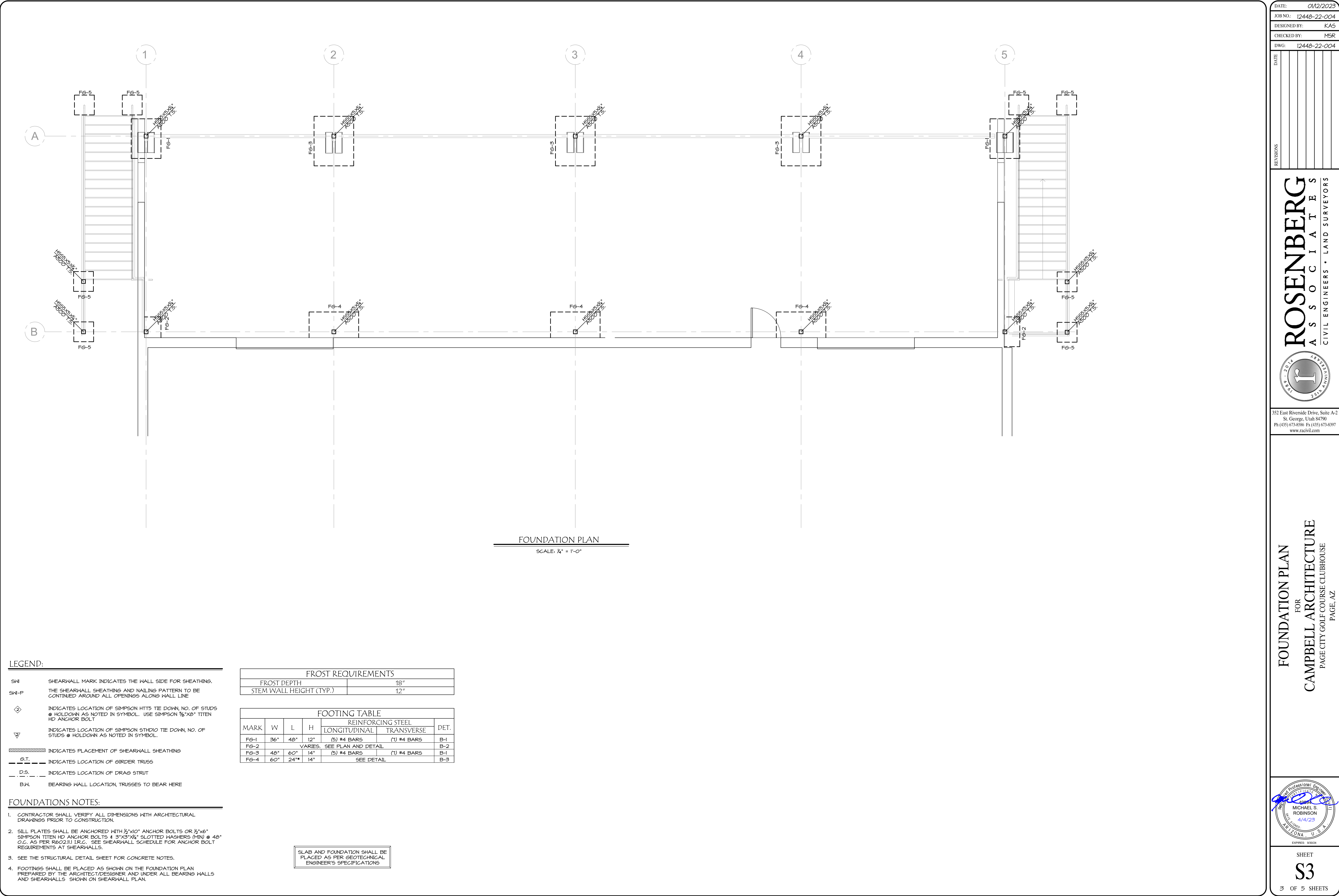
DATE:	01/12/2023
JOB NO.:	12448-22-004
DESIGNED BY:	KAS
CHECKED BY:	MSR
DWG.:	12448-22-004
DATE:	
REVISIONS:	

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St. George, Utah 84790
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FLOOR FRAMING PLAN
FOR
CAMPBELL ARCHITECTURE
PAGE CITY GOLF COURSE CLUBHOUSE
PAGE, AZ





LEGEND:	
SW	SHEARWALL MARK INDICATES THE WALL SIDE FOR SHEATHING.
SW-P	THE SHEARWALL SHEATHING AND NAILING PATTERN TO BE CONTINUED AROUND ALL OPENINGS ALONG WALL LINE
⬢	INDICATES LOCATION OF SIMPSON HTTS TIE DOWN, NO. OF STUDS @ HOLDOWN AS NOTED IN SYMBOL. USE SIMPSON 5/8"x8" TITEN HD ANCHOR BOLT
▽	INDICATES LOCATION OF SIMPSON STD10 TIE DOWN, NO. OF STUDS @ HOLDOWN AS NOTED IN SYMBOL.
▨	INDICATES PLACEMENT OF SHEARWALL SHEATHING
— G.T. —	INDICATES LOCATION OF GIRDER TRUSS
— D.S. —	INDICATES LOCATION OF DRAG STRUT
— B.W. —	BEARING WALL LOCATION, TRUSSES TO BEAR HERE

- FOUNDATIONS NOTES:
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
 - SILL PLATES SHALL BE ANCHORED WITH 1/2"x10" ANCHOR BOLTS OR 1/2"x6" SIMPSON TITEN HD ANCHOR BOLTS & 3"x3"x1/2" SLOTTED WASHERS (MIN) @ 48" O.C. AS PER R602.11.1 I.R.C., SEE SHEARWALL SCHEDULE FOR ANCHOR BOLT REQUIREMENTS AT SHEARWALLS.
 - SEE THE STRUCTURAL DETAIL SHEET FOR CONCRETE NOTES.
 - FOOTINGS SHALL BE PLACED AS SHOWN ON THE FOUNDATION PLAN PREPARED BY THE ARCHITECT/DESIGNER AND UNDER ALL BEARING WALLS AND SHEARWALLS SHOWN ON SHEARWALL PLAN.

FROST REQUIREMENTS		
FROST DEPTH		18"
STEM WALL HEIGHT (TYP.)		12"

MARK	W	L	H	REINFORCING STEEL		DET.
				LONGITUDINAL	TRANSVERSE	
FG-1	36"	48"	12"	(5) #4 BARS	(1) #4 BARS	B-1
FG-2				VARIES. SEE PLAN AND DETAIL		B-2
FG-3	48"	60"	14"	(5) #4 BARS	(1) #4 BARS	B-1
FG-4	60"	24"	14"	SEE DETAIL		B-3

SLAB AND FOUNDATION SHALL BE PLACED AS PER GEOTECHNICAL ENGINEER'S SPECIFICATIONS

DATE: 01/12/2023

JOB NO.: 12448-22-004

DESIGNED BY: KAS

CHECKED BY: MSR

DWG: 12448-22-004

DATE:

REVISIONS:

ROSENBERG

A S S O C I A T E S

CIVIL ENGINEERS • LAND SURVEYORS

1

2014

2019

2020

2021

2022

2023

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St. George, Utah 84790
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FOUNDATION PLAN

FOR

CAMPBELL ARCHITECTURE

PAGE CITY GOLF COURSE CLUBHOUSE

PAGE, AZ

Professional Engineer

Michael S. Robinson

4/4/23

EXPIRES: 9/30/24

SHEET

S3

3 OF 5 SHEETS

1. IN ADDITION TO STANDARD INSPECTIONS BY THE BUILDING OFFICIAL REQUIRED PER IRC, THE OWNER/BUILDER SHALL EMPLOY SPECIAL INSPECTIONS AND INSPECTIONS DURING CONSTRUCTION FOR THE TYPES OF WORK LISTED IN THE SPECIAL INSPECTION TABLE ON THIS PAGE.
2. SPECIAL INSPECTION SHALL BE PROVIDED BY A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, OF THE NATURE OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.
3. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS.
4. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OR ARCHITECT OF RECORD, AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE REPORTED TO THE BUILDING OFFICIAL FOR THE ATTENTION OF THE CONTRACTOR FOR CORRECTION THEN, IF INCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.
5. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN ACCORDANCE OR NOT OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.
6. SPECIAL INSPECTIONS AND NONDESTRUCTIVE TESTING OF STRUCTURAL STEEL ELEMENTS IN BUILDINGS, STRUCTURES SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ASSURANCE INSPECTION REQUIREMENTS OF AISC 360.

1. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE TO THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS.
2. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, THE ENGINEER OR ARCHITECT OF RECORD, THE DESIGNER AND PERSONS WHO HAVE DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND TO THE BUILDING OFFICIAL.
3. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, IN THE OPINION OF THE INSPECTOR, KNOWN TO BE IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE CODE.

1. SPECIAL INSPECTION SHALL BE PROVIDED BY A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.

SPECIAL INSPECTION		CONTINUOUS	PERIODIC
X	STEEL CONSTRUCTION (T104.3)		
X	MATERIALS		X
X	WELDING		X
X	STEEL FRAME DETAILS		X
X	HIGH STRENGTH BOLTS		X
X	STRUCTURAL STEEL		X
X	CONCRETE CONSTRUCTION (T104.4 & T108.3)		
X	REINFORCING STEEL		X
X	CONCRETE PLACEMENT	X	
X	SAMPLING & STRENGTH TESTS		X
X	BOLTS IN CONCRETE		X
	MASONRY CONSTRUCTION (T104.5)		
	NONESSENTIAL FACILITY - LEVEL 1		
	ESSENTIAL FACILITY - LEVEL 2		
	WOOD CONSTRUCTION (T104.6)		
	HIGH-LOAD DIAPHRAGMS (S1.3) (S1.5)		
	STRUCTURAL WOOD		
	OTHER		
X	SOILS (T104.7)		
X	SITE PREPARATION		X
X	IN-PLACE DENSITY	X	
X	FILL PLACEMENT		X
	OTHER		
	PIER FOUNDATIONS (T104.9 & T107.5)		
	PIER FOUNDATION		
	CONCRETE GRADE BEAM		
	COLD FORMED STEEL (T107.4)		
	WELDING		
	FASTENING		
X	SEISMIC DESIGN CATEGORY		
X	CATEGORY (C)		X
	STRUCTURAL OBSERVATION (T109)		
	STRUCTURAL OBSERVATION		

1. WHERE SIZE OF WELD IS NOT INDICATED, IT SHALL DEVELOP FULL STRENGTH OF MEMBER AND CONNECTION.
2. NO SPLICES MAY BE MADE OTHER THAN THOSE DETAILED ON PLANS UNLESS SHOWN ON SHOP DRAWINGS AND APPROVED BY STRUCTURAL ENGINEER.
3. ALL BEVEL GROOVE WELDS SHALL BE COMPLETE PENETRATION WELDS.
4. ALL SHOP AND FIELD BEVEL GROOVE WELDS SHALL BE ULTRASONICALLY TESTED.
5. TESTING SHALL BE CONDUCTED BY AN INDEPENDENT CERTIFIED TESTING LABORATORY AND REPORTS SHALL BE SUBMITTED.
6. THE COST INCURRED FOR TESTING SHALL BE BORNE BY THE FABRICATOR.
7. WELDS AT ALL CONNECTIONS SHALL BE CLEANED. SLAG AND WELD SPATTER SHALL BE REMOVED FROM ALL COMPLETED WELDS, AND THE WELD AND ADJACENT BASE METAL SHALL BE CLEANED BY BRUSHING OR OTHER SUITABLE MEANS AVAILABLE FOR INSPECTION.
8. PAINT ALL WELDS AFTER WELDING HAS BEEN COMPLETED AND THE WELD ACCEPTED.

COMPONENT:	STANDARD:	Fy:
BOLTS	ASTM A325	---
NUTS	ASTM A563	---
WASHERS	ASTM F436	---
ANCHOR RODS	ASTM F1554, GRADE 36	36 KSI

2. ALL BOLTS SHALL BE INSTALLED AS BEARING TYPE CONNECTIONS WITH THREADS EXCLUDED FROM SHEAR PLANE (TYPE X CONNECTION) AND SHALL BE INSTALLED WITH PROPER TORQUE AND TIGHTENING TORQUE IN ACCORDANCE WITH THE AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A440 BOLTS" AND SHALL BE SNUG TIGHTENED USING ANY "ANY" APPROVED METHOD. NO ALL BOLTS IN SLOTTED OR CRACKED HOLES AND ALL HIGH STRENGTH BOLTS SHALL BE INSTALLED WITH HARDENED WASHERS.
3. ALL CONNECTIONS INVOLVING WOOD MEMBERS, INCLUDING THOSE WITH THREADED ROD, THREADED STUDS, FOUNDATION ANCHOR BOLTS, GRU BOLTS, ETC., SHALL USE ASTM A307 NATURAL UNAL. ALL BOLTS, STUDS, ANCHORS, ETC., SHALL BE INSTALLED WITH HARDENED WASHERS AT FACE OF WOOD.

1. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION" AND SHALL BE PROVIDED BY AN APPROVED FABRICATOR.

	LIVE LOAD	TOTAL LOAD
ROOF	SPAN/240	SPAN/180
FLOOR	SPAN/480	SPAN/360

3. TRUSSES SHALL BE DESIGNED TO SUPPORT THEIR SELF WEIGHT, LIVE LOAD, SUPERIMPOSED DEAD LOAD (INCLUDING MECHANICAL), ATTIC LOADS PER IBC, AND SHALL BE DESIGNED TO RESIST ALL DRAG AND UPLIFT SHEAR AND MOMENT AND DOWNWARD LOADS, AND OTHER SPECIFIED LOADS ON THE PLANS.
4. ALL TRUSS-TO-TRUSS CONNECTIONS SHALL BE SPECIFIED BY THE TRUSS DESIGNER AND INCLUDED IN THE TRUSS DIAGRAMS.
5. TRUSS SHOP DRAWINGS, ERECTION DRAWINGS, AND DESIGN CALCULATIONS SEALED BY AN APPROPRIATELY REGISTERED ENGINEER SHALL BE SUBMITTED FOR REVIEW PRIOR TO CONSTRUCTION.

1. ALL NAILING SHALL CONFORM TO THE 2015 IBC TABLE 2304.10.1

2. ALL PLATES SHALL BE ANCHORED WITH 3/8" DIAMETER ANCHOR BOLTS 12" X 3/8" X 3" SLOTTED WASHERS (MIN) @ 48" O.C. UNLESS NOTED OTHERWISE.
3. ALL TRUSS BRACES AT END OF TRUSS MUST BE FULL-BLOCKED AND ANCHORED WITH TIES AS REQUIRED BY THE 2015 IBC. NAIL ROOF SHEATHING TO BLOCKING.
4. ALL BEAMS, HEADERS, AND JOISTS SHALL BE INSTALLED TO MEET MANUFACTURE SPECIFICATIONS AND A 151214 (MIN) TOP STRAP PER CODE SHALL BE INSTALLED IF TOP PLATE IS NOT CONTINUOUS OVER HEADER.
5. ALL BEAM & GIRDER TRUSSES SHALL BE SET ON DOUBLE 2X TRIMMERS UNLESS SPECIFIED OTHERWISE.
6. ROOF SHEETING SHALL BE 3/4" APA RATED SHEATHING UNBLOCKED NAIL PATTERN RATING OF 40/20. NAILING SHALL BE AT 4" O.C. ALL BOUNDARIES, 6" O.C. SUPPORTED EDGES, AND 12" FIELD.
7. UNLESS NOTED OTHERWISE FLOOR SHEATHING SHALL BE 3/4" T&G APA RATED SHEATHING WITH PANEL SPAN RATINGS OF 40/24. NAILING SHALL BE 10d AT 6" O.C. ALL BOUNDARIES AND SUPPORTED EDGES, AND 12" FIELD.
8. UNLESS NOTED OTHERWISE, ALL EXTERIOR WALLS AND INTERIOR BEARING WALLS SHALL HAVE TRIMMERS AND KING STUDS AS FOLLOWS:
 OPENINGS 5' & UNDER: (1) TRIMMER & (1) KING STUD EA. END
 OPENINGS OVER 5' WIDE: TRIMMERS AS INDICATED & (2) KING STUD EA. END
9. ALL BEARING WALL DOOR AND WINDOW HEADERS SHALL BE DOUBLE 2X10 HEADERS UNLESS SPECIFIED OTHERWISE.
10. DIMENSIONAL SAWN LUMBER SHALL AS FOLLOWS:
 2X STUDS UP TO 10' TALL DFL STUD GRD
 2X STUDS UP TO 14' TALL DFL #2
 BEAMS, HEADERS, RAFTERS, JOISTS DFL #2
 COLLARS DFL #2
11. STRUCTURAL COMPOSITE LUMBER SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 LVL: E = 1,856 PSI, Fb = 2,600 PSI, Fv = 285 PSI
 E = 2,086 PSI, Fb = 2,900 PSI, Fv = 240 PSI
 E = 1,353 PSI, Fb = 1,700 PSI, Fv = 400 PSI
12. GLULAM BEAMS (GLB) SHALL BE SERIES 24F-4V DF-DF.
 GLB E = 1,856 PSI, Fb = 2,400 PSI, Fv = 240 PSI

CODES AND REFERENCES:
-BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE:
ACI-308 LATEST
-SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS:
ACI-301 LATEST
-GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION:
ACI-302 LATEST
-CONCRETE REINFORCING STEEL INSTITUTE HANDBOOK

2. CRITERIA DESIGN STRESSES:
-CONCRETE STRENGTH (28 DAY) NOTE: ALL CONCRETE IN CONTACT
WITH SOIL TO BE TYPE V OR EQUIVALENT SULFATE-RESISTANT
CONCRETE. ALL CONCRETE FOUNDATIONS WERE DESIGNED USING
2,500 PSI CONCRETE. THIS NO SPECIAL INSPECTION IS REQUIRED
FOR CONCRETE PLACEMENT.

FOUNDATION	4,500 PSI
SLAB	4,500 PSI
WATER TO CEMENT RATIO	0.45 MAXIMUM

REINFORCING STEEL:

#3 BAR AND SMALLER (ASTM A615, GRADE 40) $F_y = 40,000$ PSI
#4 BAR AND LARGER (ASTM A615, GRADE 60) $F_y = 60,000$ PSI
ALL BARS WHICH REQUIRE WELDING (ASTM A706 GRADE 60)

3. PROVIDE COVER FOR REINFORCING AS SPECIFIED IN ACI-318-LATEST

EXPOSURE CONDITION:	COVER:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"
EXPOSED TO EARTH OR WEATHER (INCLUDES SLABS ON GRADE)	
NO. 5 AND SMALLER	1 1/2"
NO. 6 AND LARGER	2"

4. WHERE SPLICES IN REINFORCING ARE REQUIRED, THEY SHALL BE
LAPPED AND STAGGERED SUCH THAT NO MORE THAN ONE-HALF OF
THE BARS ARE IN THE SAME LAP. THE MINIMUM LAP LENGTH AND
SHALL MEET THE REQUIREMENTS OF A CLASS "B" SPLICE.

5. MINIMUM SPLICE LENGTHS FOR CLASS "B" (GRADE 60, 4,500 PSI
CONCRETE):

- #3 BAR THROUGH #5 BAR: 28" OVERLAP.
- #6 BAR: 33" OVERLAP.
- #7 BAR: 38" OVERLAP.
- #8 BAR: 44" OVERLAP.

(REF: ACI 318-02 SEC. 12.2)

6. MAKE HORIZONTAL BARS CONTINUOUS AROUND CORNERS OR
PROVIDE CORNER BARS.

1. REINFORCING STEEL SHALL BE DETAILED AND PLACED IN ACCORDANCE WITH AC308 AND CRSIS MANUAL OF STANDARD PRACTICE.
2. REINFORCING STEEL SHALL CONFORM TO ASTM A615 OR ASTM A706 AND SHALL BE GRADE 60 DEFORMED BARS UNO.
REINFORCING IN SLAB ON GRADE MAY BE GRADE 40 DEFORMED BARS FOR ALL BARS #4 AND SMALLER UNO, ON PLANS OR DETAILS.
3. ALL DIMENSIONS SHOWING THE LOCATION OF REINFORCING STEEL NOT NOTED AS CLEAR ARE TO CENTER OF STEEL, CLEAR COVER FOR CONCRETE REINFORCING SHALL BE AS FOLLOWS, UNO, ON PLANS,

EXPOSURE CONDITION:	COVER:
CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH	3"

EXPOSED TO EARTH OR WEATHER
(INCLUDES SLABS ON GRADE)

- NO. 6 AND LARGER
4. REINFORCING BAR SPACING SHOWN ON PLANS ARE FOR CENTER DIMENSIONS. DON'T ALL VERTICAL REINFORCING TO FOUNDATION. SECURELY TIE BAR LAPS IN LOCATION BEFORE PLACING CONCRETE.
5. WHERE SPLICES IN REINFORCING ARE REQUIRED, THEY SHALL BE LAPPED AND STAGGERED SUCH THAT NO MORE THAN ONE-HALF OF THE BARS ARE LAP SPICED WITHIN A REQUIRED LAP LENGTH, AND SHALL MEET THE REQUIREMENTS OF A CLASS "B" SPLICE.
6. MINIMUM SPLICE LENGTHS FOR CLASS "B" (GRADE 60, 4500 PSI CONCRETE),
- #3 BAR THROUGH #5 BAR, 2d* OVERLAP.
- #6 BAR, 33" OVERLAP.
- #7 BAR, 36" OVERLAP.
- #8 BAR, 44" OVERLAP.
- (REF. ACI 308-02 SEC. 12.2)
-
- ## STRUCTURAL STEEL:
-
1. CODES AND REFERENCES.
- AISC SPECIFICATIONS WITH SUPPLEMENTS
 - AISC STEEL DESIGN MANUAL
2. STRUCTURAL STEEL SHALL AS FOLLOWS:
- ASTM A992, ALL STEEL WIDE FLANGE BEAMS
- FY=50 (KSI)
- ASTM 36, ALL STEEL PLATES, CHANNELS, & OTHER BEAMS
- FY=36 (KSI)
- ASTM A53 GRD B, ALL STEEL PIPES
- FY=42 (KSI)
- ASTM A500 GRD B, ALL RECTANGULAR TUBE STEEL
- FY=46 (KSI)
3. WELDED JOINTS OR CONNECTIONS SHALL BE MADE WITH FULL PENETRATION WELDS OR MAX. SIZE FILLET WELDS USING E70XX ELECTRODES. ALL WELDS SHALL BE MADE IN ACCORDANCE WITH CURRENT STANDARDS OF THE AMERICAN WELDING SOCIETY AND PERFORMED BY WELDERS QUALIFIED BY AWS STANDARDS, CURRENT ISSUE.
4. CONNECTION BOLTS TO BE ASTM A307 UNLESS NOTED OTHERWISE.

1. THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS, EXISTING CONDITIONS, AND NOTED ASSUMPTIONS. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND NOTED PRIOR TO PROCEEDING WITH ANY WORK RELATED TO THE DEVIATION.
2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE STRUCTURAL ENGINEERS IN THIS OR SIMILAR LOCALITIES. THEY NECESSARILY ASSUME THAT THE CONTRACTOR AND/OR WORKMEN HAVE AN EXPERIENCED CONTRACTOR AND/OR WORKMEN WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND THAT THE ELEMENTS AND CONDITIONS ASSUMED TO BE TRUE AND PRACTICE IS NOT EVERY CONDITION OR ELEMENT IS OR CAN BY EXPLICITLY SHOWN ON THESE DRAWINGS, IT IS UNDERSTOOD THAT THE CONTRACTOR WILL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR ALL MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE SEQUENCE OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DESIGN AND PROVIDE ALL DETAILS, SHORT HANDS, FORM-WORK, ETC. AS REQUIRED. OBSERVATION VISITS TO THE SITE BY THE STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE STRUCTURAL ITEMS.
4. DESIGN OF ITEMS NOT PART OF THE PRIMARY STRUCTURAL SYSTEM (SUCH AS STAIRS, RAILINGS, NON-STRUCTURAL WALLS) AND PREFABRICATED STRUCTURAL ITEMS (SUCH AS FLOOR, ROOF TRUSSES) SHALL BE PROVIDED BY OTHERS UNLESS SPECIFICALLY NOTED ON THESE DRAWINGS.
5. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON ROAD OR FLOOR. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT.
6. STRUCTURAL REQUIREMENTS SHOWN ON THE STRUCTURAL PLANS TAKE PRECEDENCE OVER STRUCTURAL CALLOUTS INDICATED ON THE ARCHITECTURAL PLANS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS.
7. INSPECTIONS REQUIRED BY THE BUILDING CODES, JURISDICTION, OR THESE PLANS SHALL BE PROVIDED BY AN INDEPENDENT INSPECTION COMPANY OR THE BUILDINGS DEPARTMENT. SITE VISITS BY THE ENGINEER ARE FOR OBSERVATION ONLY AND DO NOT CONSTITUTE AN INSPECTION.

1.	BUILDING CODE; INTERNATIONAL BUILDING CODE - 2010 EDITION	
2.	OCCUPANCY	II
3.	ROOF LOADS;	
	ROOF LOAD (LIVE);	20 PSF
	ROOF LOAD (DEAD);	15 PSF
4.	FLOOR LOADS;	
	FLOOR LOAD (LIVE);	100 PSF
	FLOOR LOAD (DEAD);	52 PSF
5.	WIND LOADS;	
	WIND LOAD;	100 MPH EXPOSURE C
SEISMIC LOADS;		
	SITE SOIL CLASS	D
	SEISMIC DESIGN CATEGORY	C
	R	3.5
	S _s	0.310
	S _i	0.047
	S _{ds}	0.321
	S _{d1}	0.155

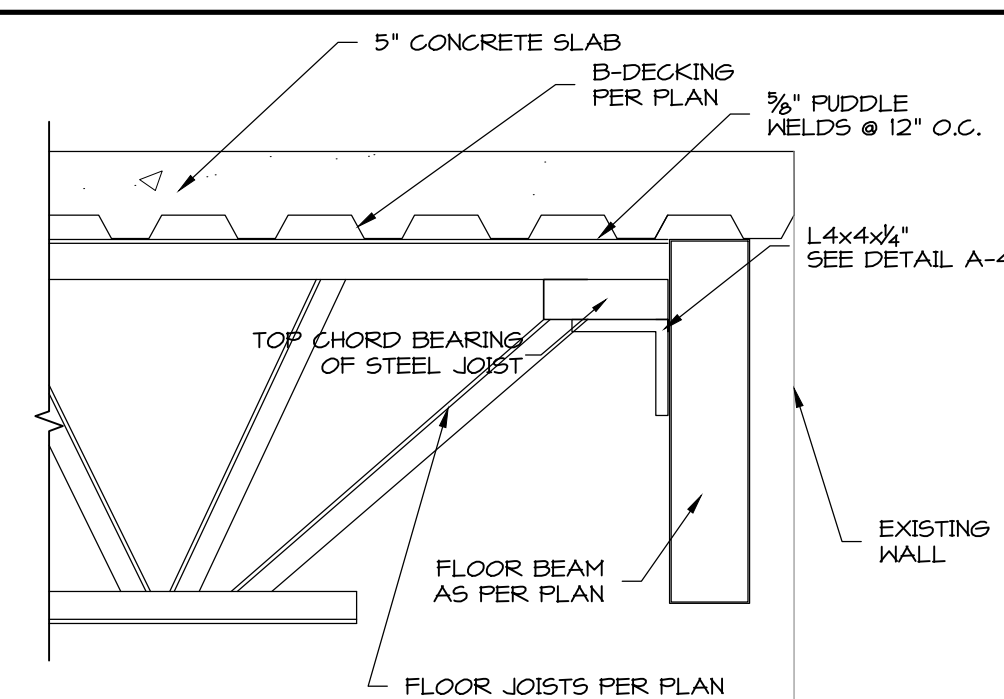
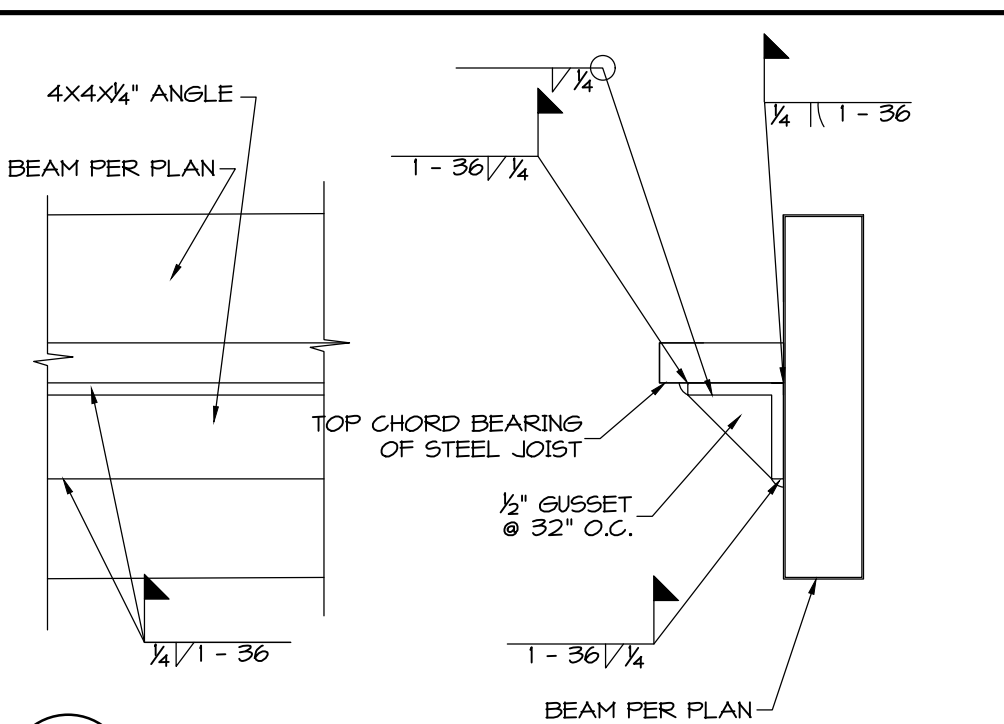
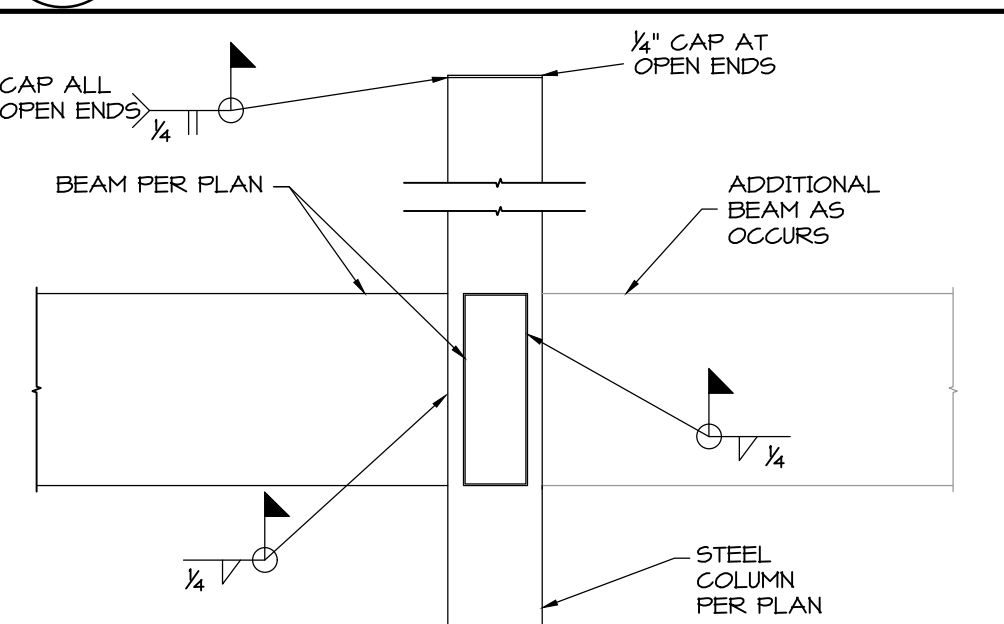
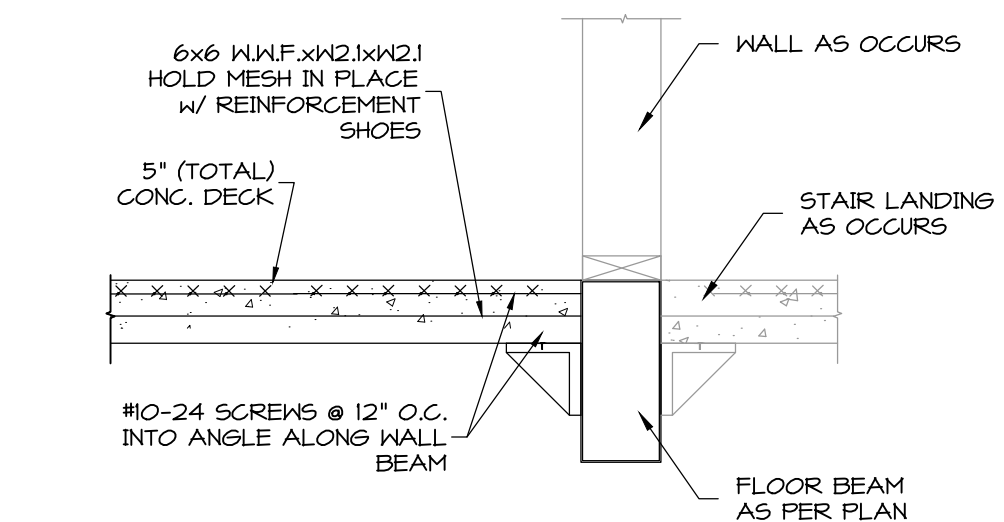
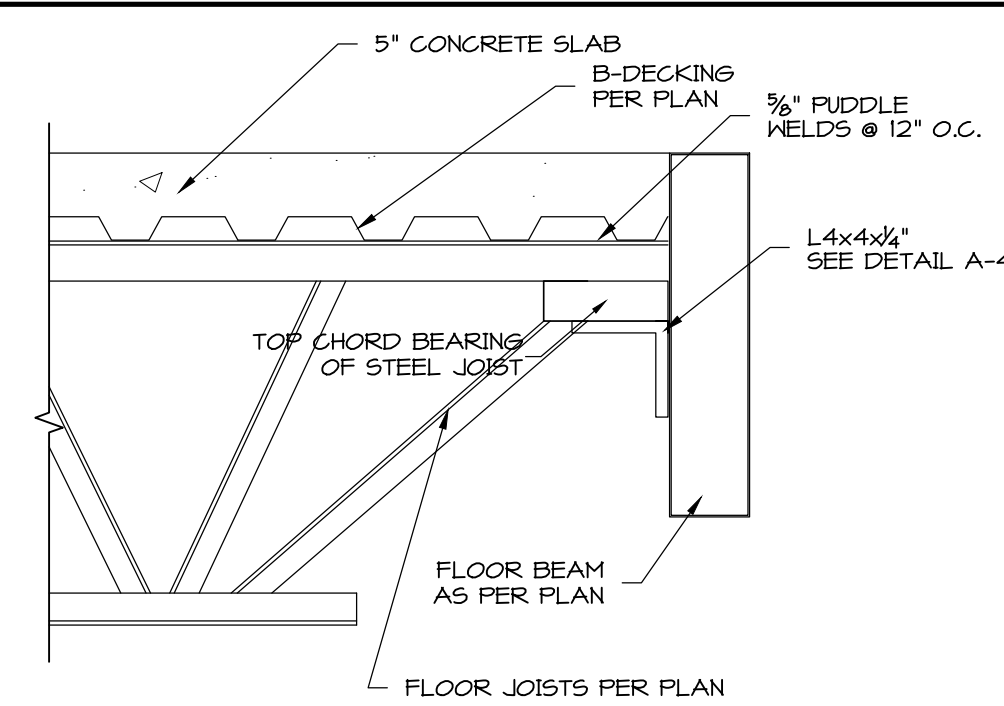
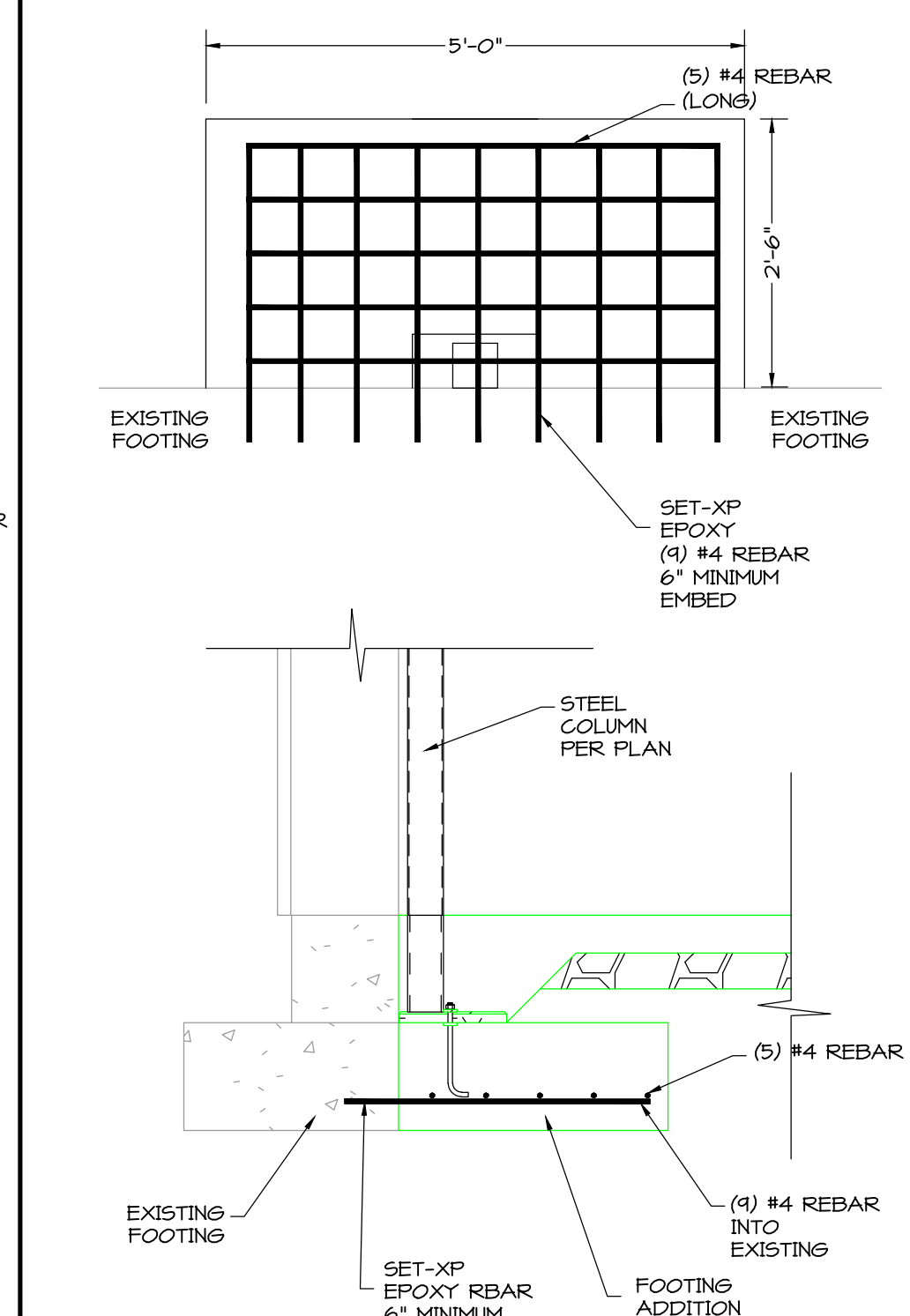
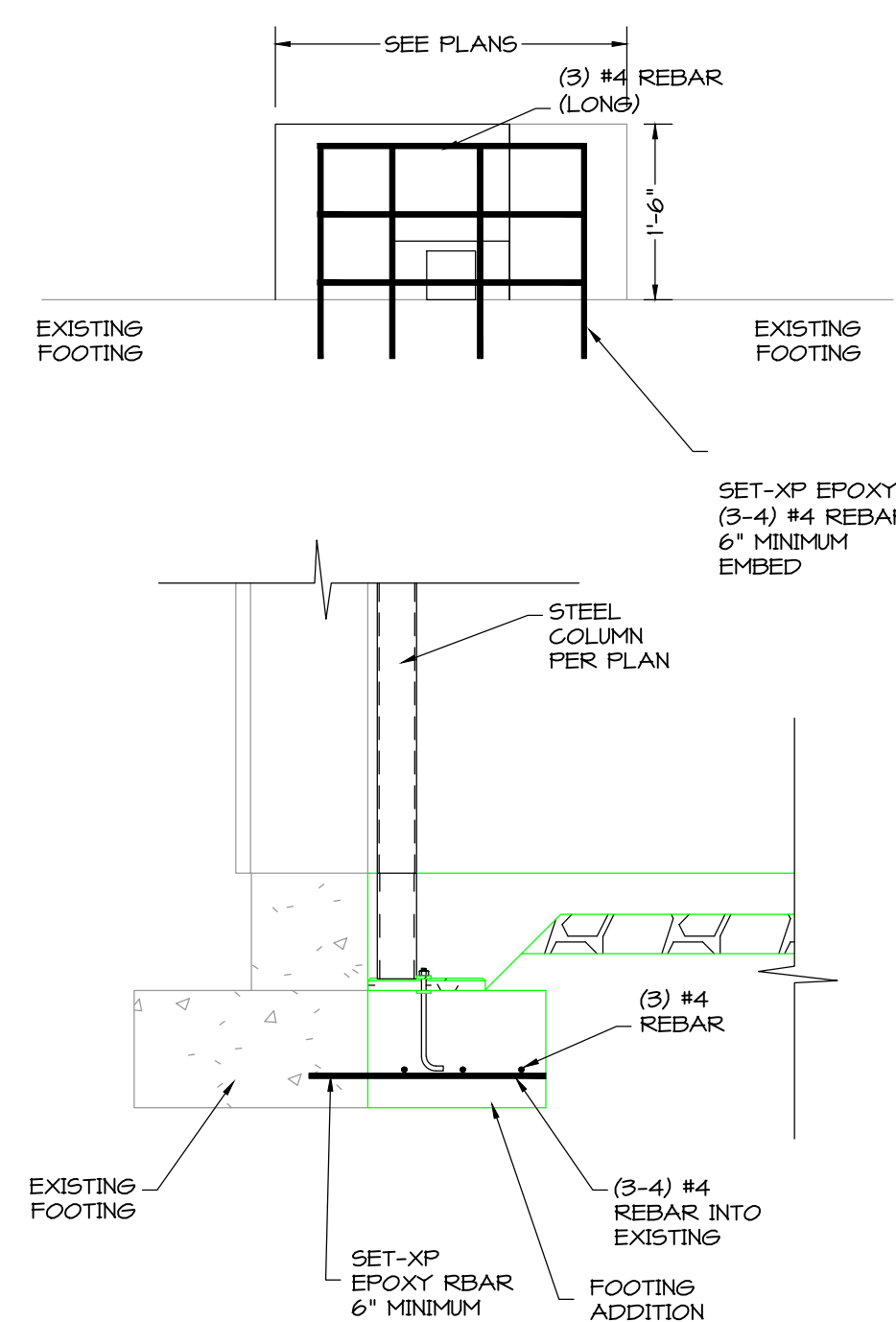
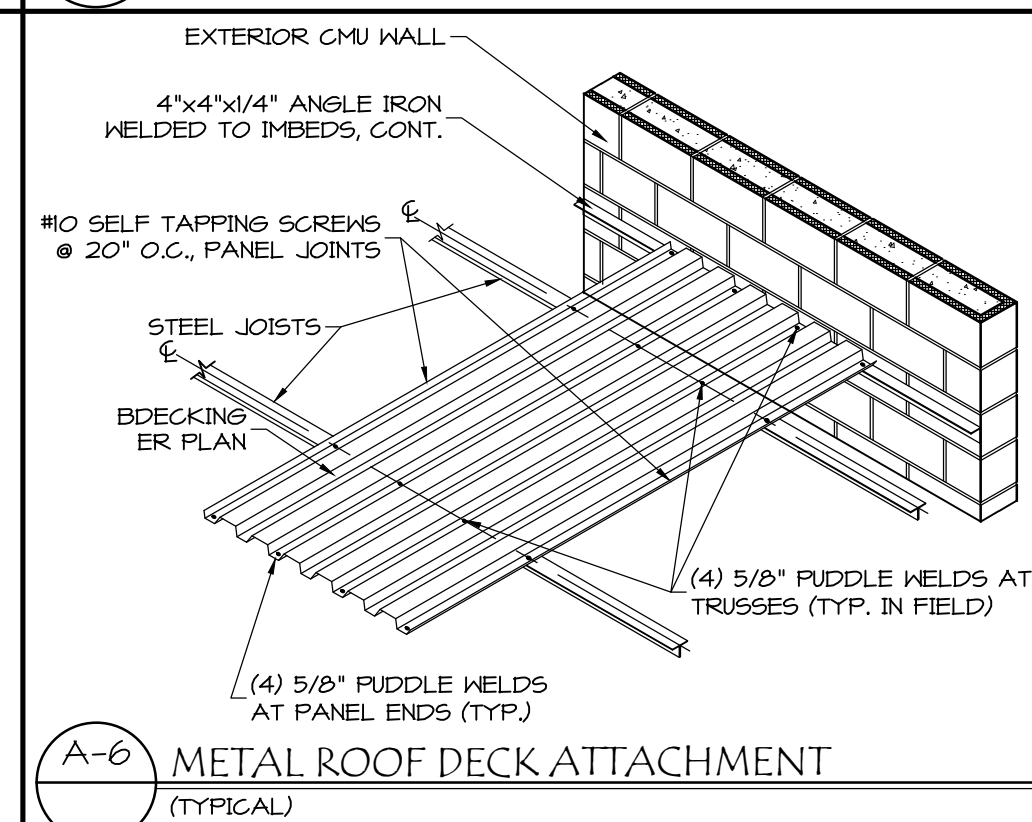
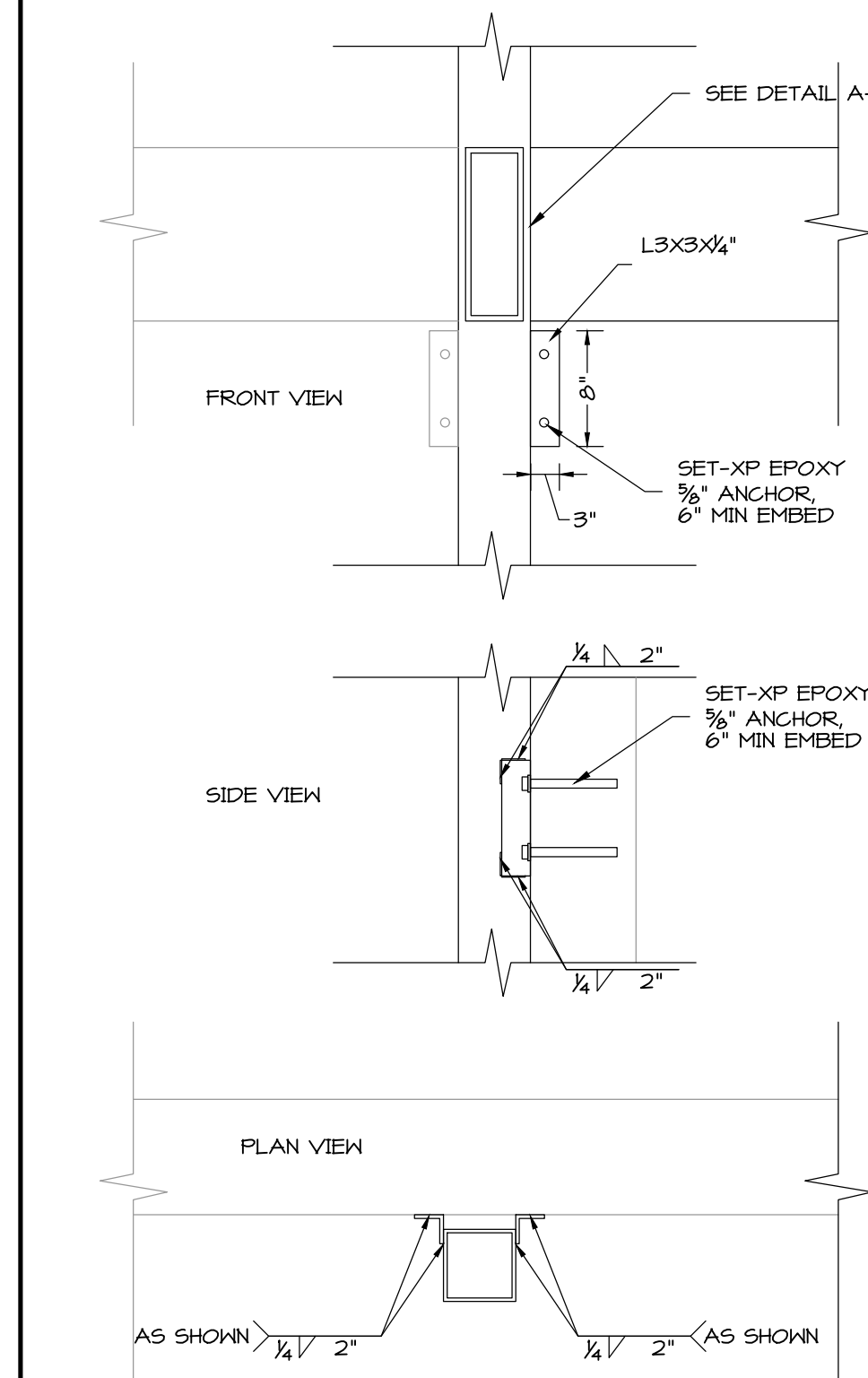
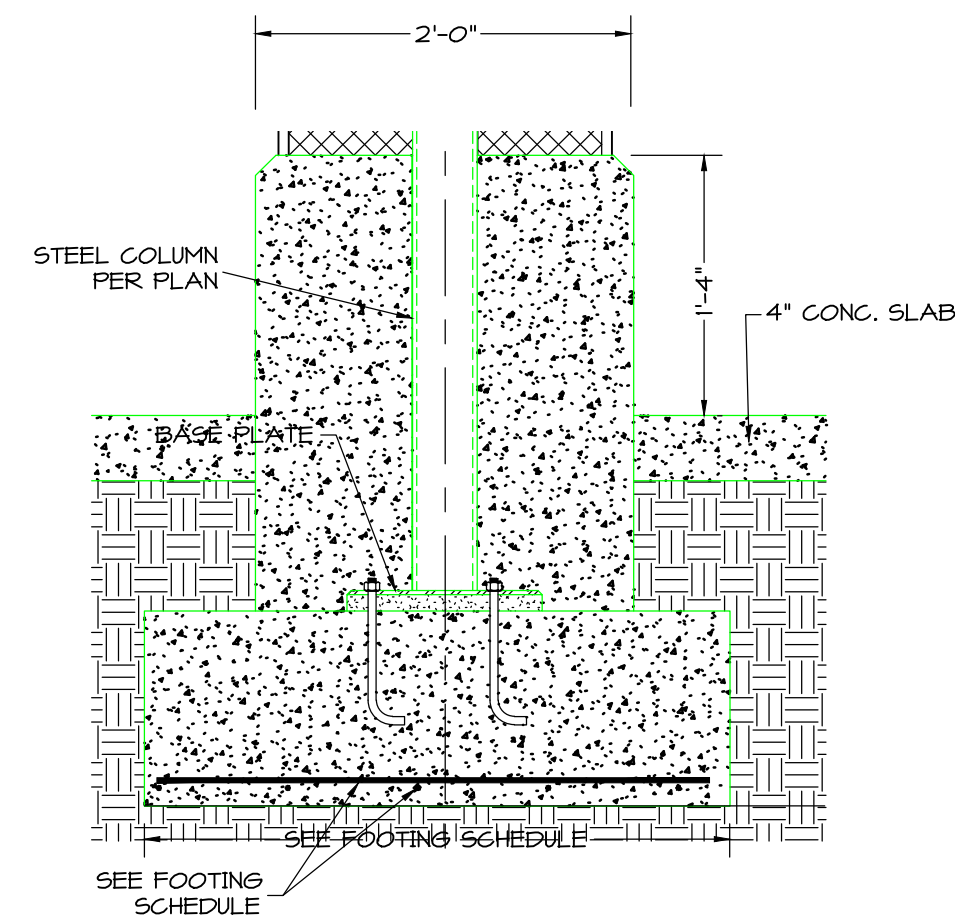
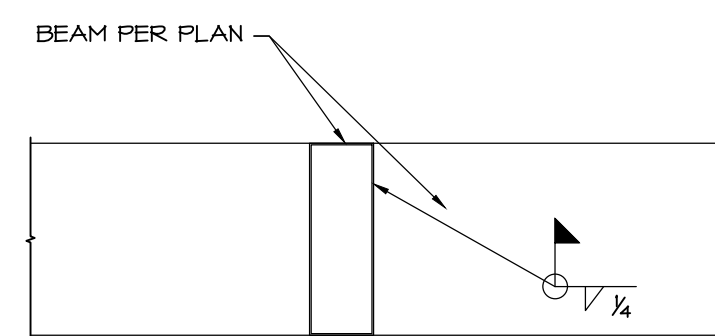
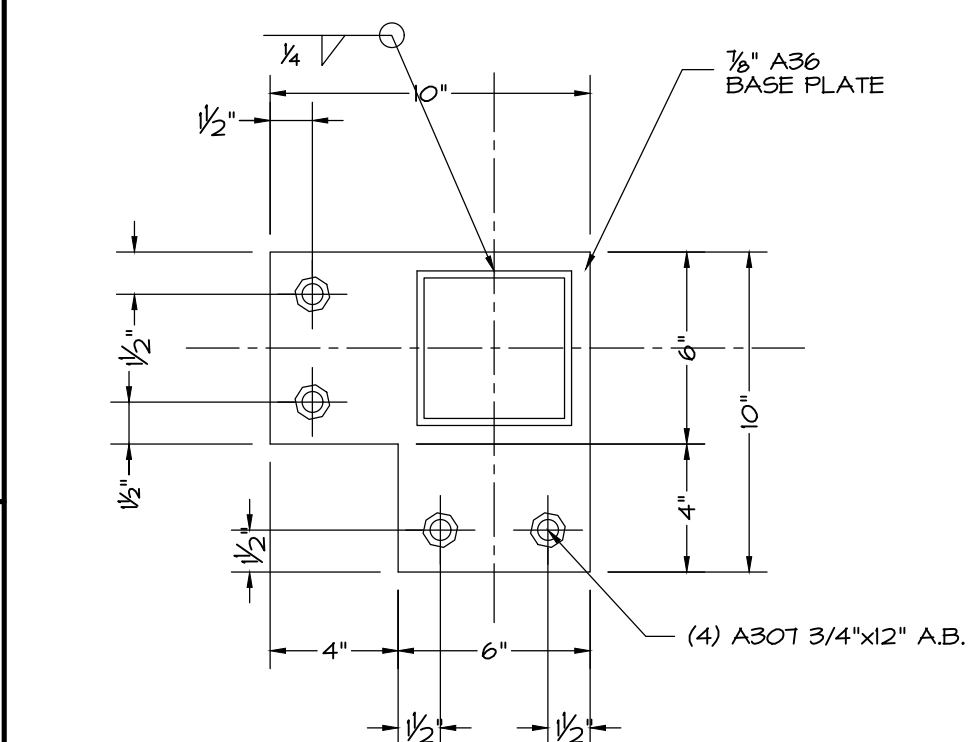
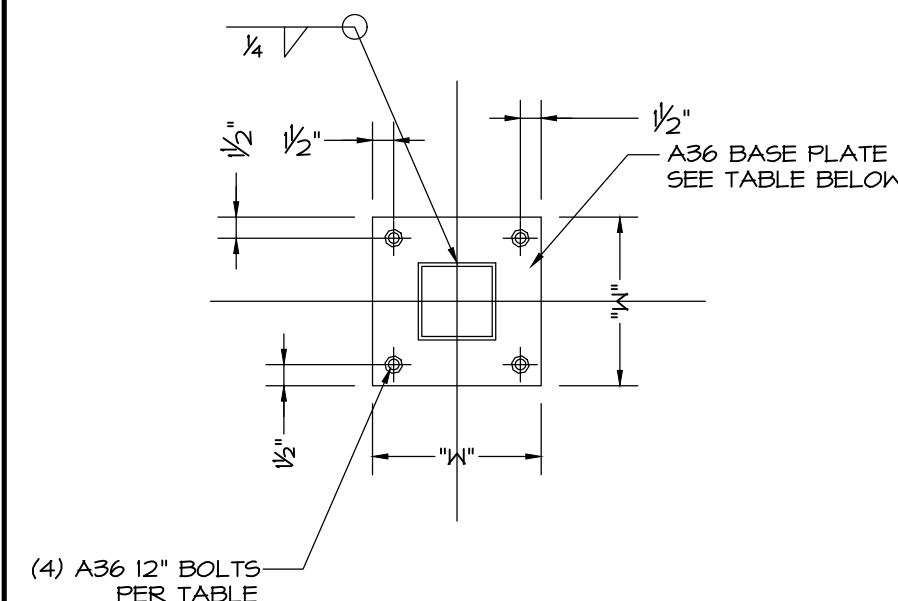
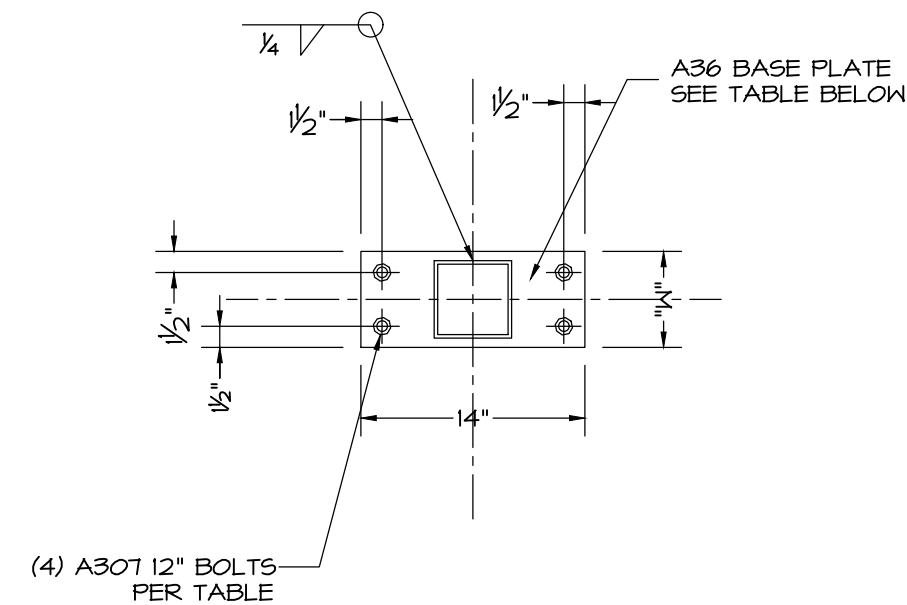
1. THIS DESIGN HAS BEEN IN ACCORDANCE WITH CODE MINIMUM REQUIREMENTS


THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THIS REPORT IN ITS ENTIRETY, PRIOR TO PROCEEDING WITH CONSTRUCTION.

ALLOWABLE SOIL BEARING: 1500 PSF

SOIL SITE CLASS	D
SULFATE EXPOSURE	MODERATE

A.B.	ANCHOR BOLT
A.C.I.	AMERICAN CONCRETE INSTITUTE
A.M.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALT.	ALTERNATE
ANSI	AMERICAN ROD
ARCH.	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWS	AMERICAN WELDING SOCIETY
BOT.	BOTTOM
BRS	BEARING
CANT.	CANTILEVERED
C.J.	CONTROL JOINT
C.J.P.	COMPLETE JOINT PENETRATION
CL	CENTER LINE
COL.	COLUMN
CONT.	CONTINUOUS
DIA.	DIAMETER
DWG.	DRAWING
EQ.	EQUAL
E.K.	EACH WAY
F.F.	FINISH FLOOR
FT.	FOOT
FTG.	FOOTING
GA.	GAUGE
GLB	GLULAM BEAM
G.T.	GIRDER TRUSS
HSS	HOLLOW STRUCTURAL SECTION
IBC	INTERNATIONAL BUILDING CODE
I.D.	INSIDE DIAMETER
L.S.L.	LAMINATED STRAND LUMBER
L.V.L.	LAMINATED VENEER LUMBER
MFR.	MANUFACTURER
MAX	MAXIMUM
MECH.	MECHANICAL
MN	MINDING
MISC.	MISCELLANEOUS
N.T.S.	NOT TO SCALE
O.D.	OUTSIDE DIAMETER
O.C.	ON CENTER
PL.	PLATE
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
REQD.	REQUIRED
SIM.	SIMILAR
SPEC.	SPECIFICATION
STD.	STANDARD
SW	SHEARWALL
THRU	THROUGH
TYP.	TYPICAL
UNO.	UNLESS NOTED OTHERWISE

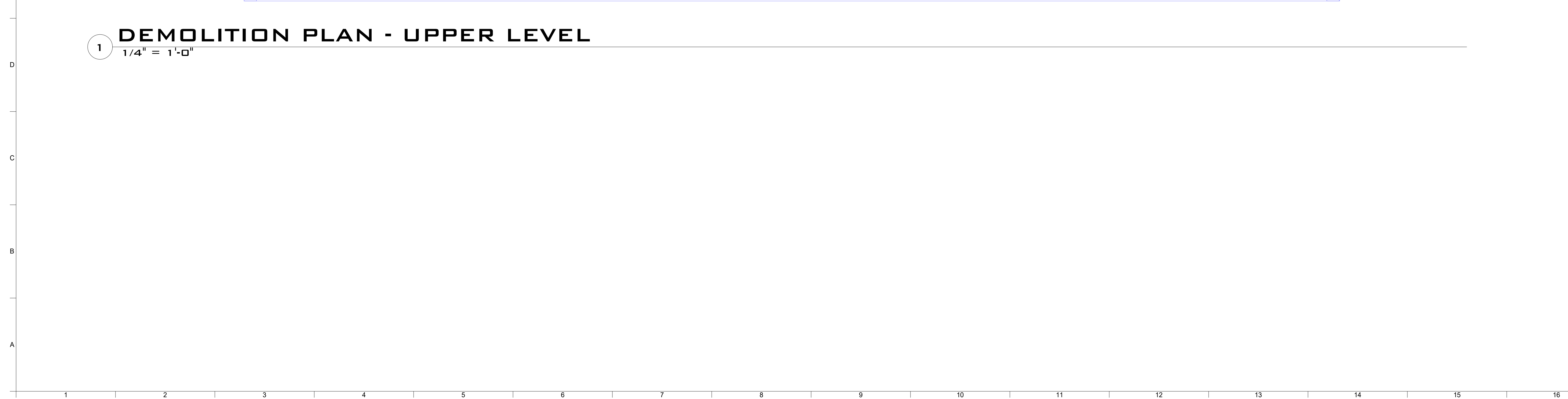




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A J&D COMPANY
campbe des'gn.us

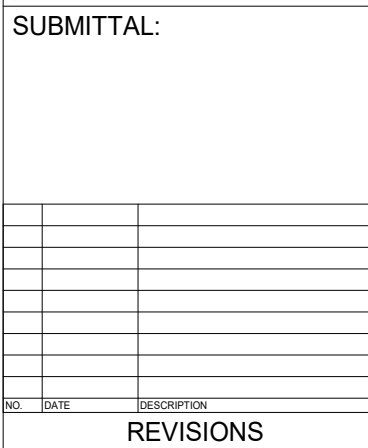
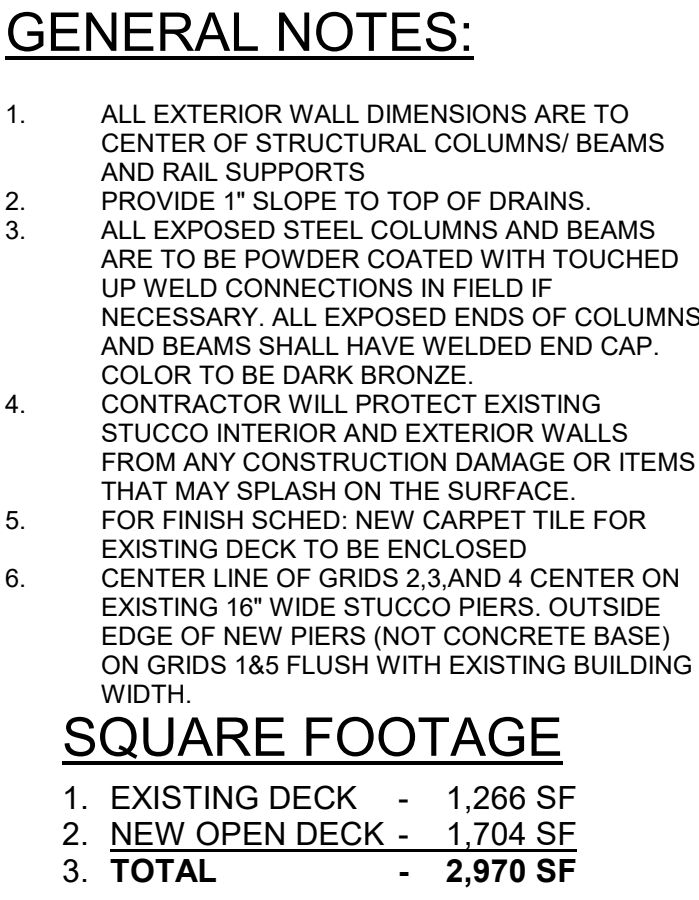
2208-076
PROJECT NUMBER

A0.50
SHEET NO.



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1000



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campbe des'gnus

PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

FLOOR PLAN - LOWER LEVEL

2208-076
PROJECT NUMBER

A-101
SHEET NO.

Eligible Date: H-1/P/Des/22/06/2076:short/22/06/2076 : City of Bannock | DW 2.0.0 | CH 4.0.0 ref
 Desc Date: All/2023/3/01-10/2024



- ### SQUARE FOOTAGE
- | | | |
|------------------|---|----------|
| 1. EXISTING DECK | - | 1,266 SF |
| 2. NEW OPEN DECK | - | 1,704 SF |
| 3. TOTAL | - | 2,970 SF |

[illegible]

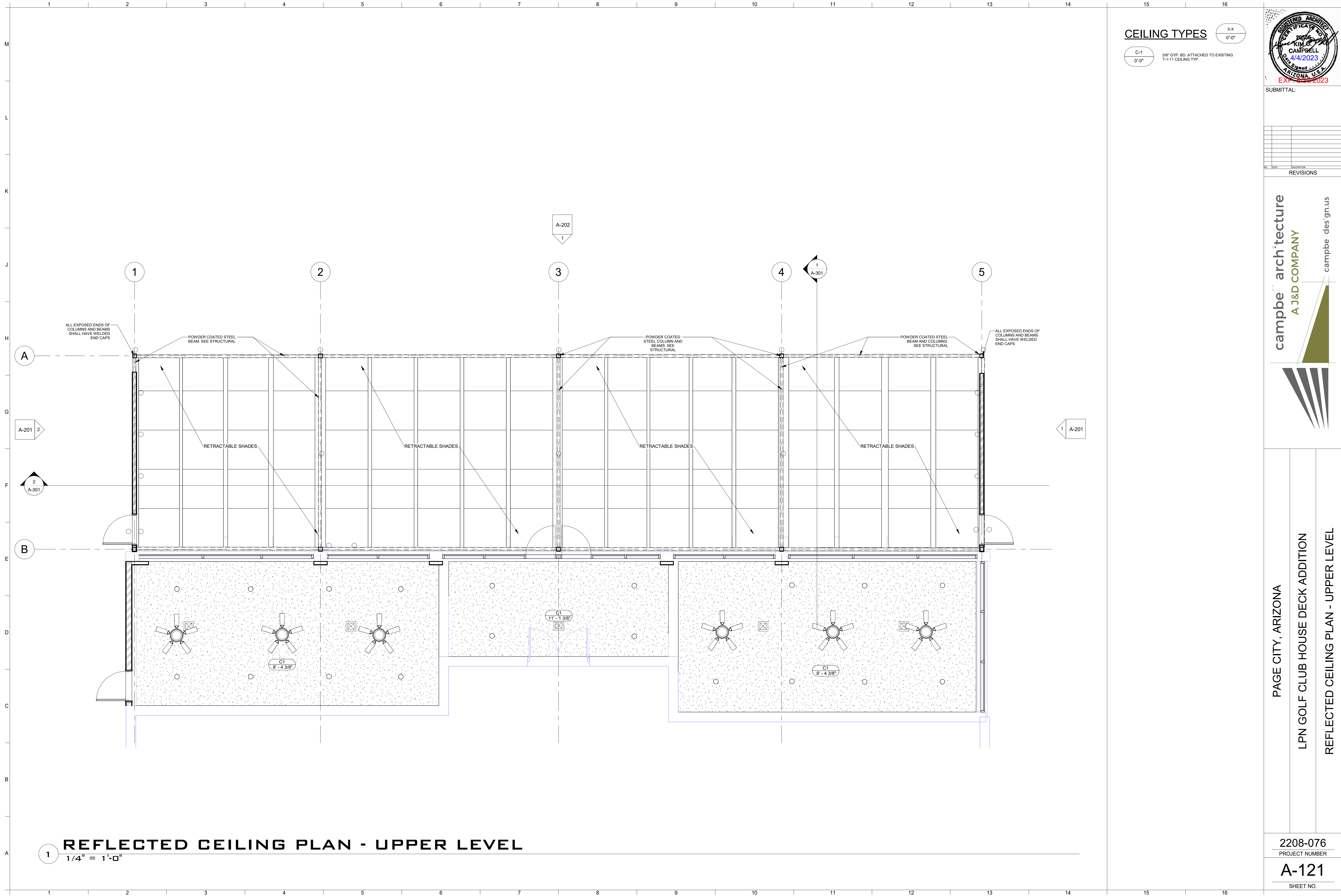
PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

REFLECTED CEILING PLAN - LOWER LEVEL

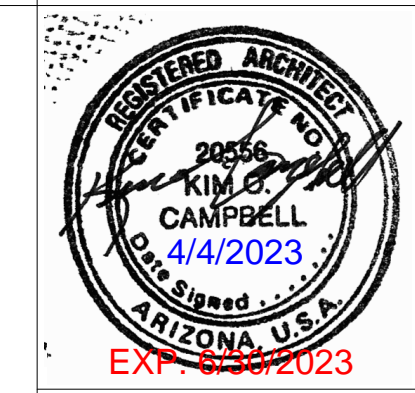
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PROJECT NUMBER
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SHEET NO.

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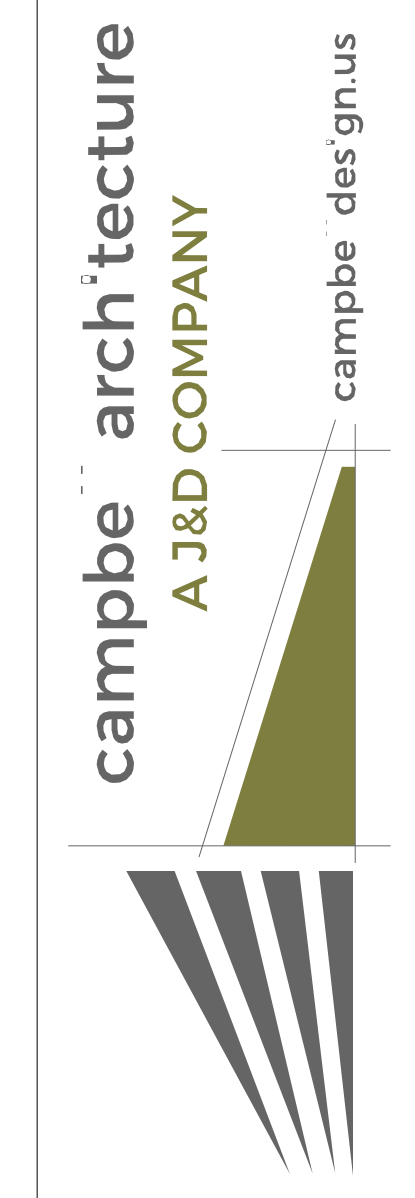
CEILING TYPES

C-1	5/8" GYP. BD. ATTACHED TO EXISTING T-1-11 CEILING TYP.
0'-0"	



SUBMITTAL:

NO.	DATE	DESCRIPTION
1	4/4/2023	REVISIONS



PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

REFLECTED CEILING PLAN - UPPER LEVEL


2208-076

PROJECT NUMBER

A-121

SHEET NO.

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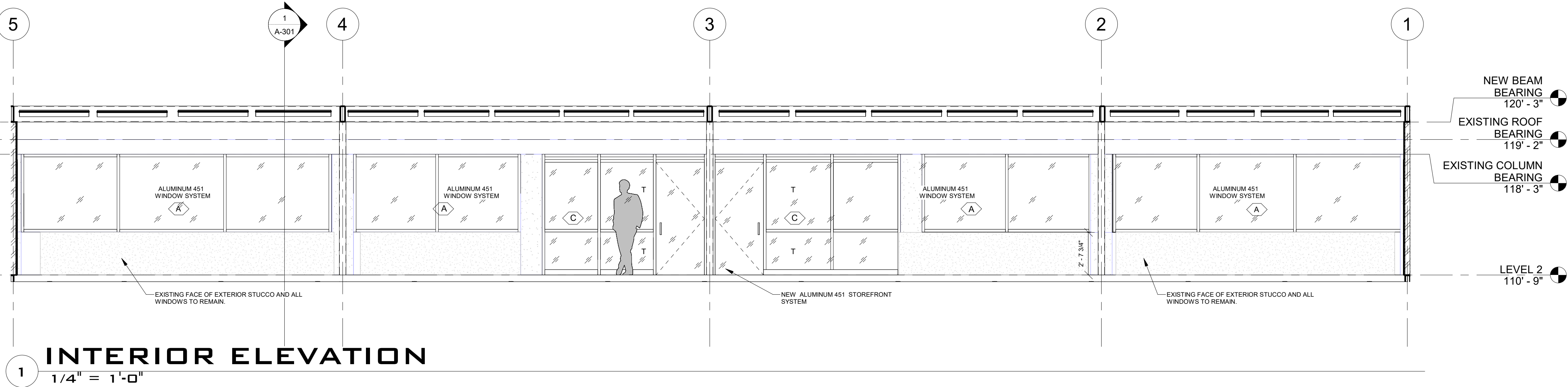
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2208-076
PROJECT NUMBER

A-301
SHEET NO.

2 LONGITUDINAL BUILDING SECTION
1/4" = 1'-0"

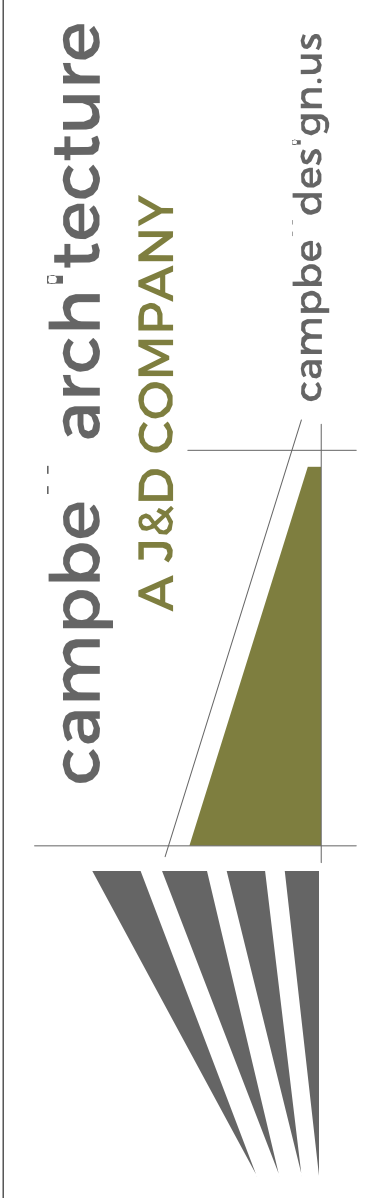
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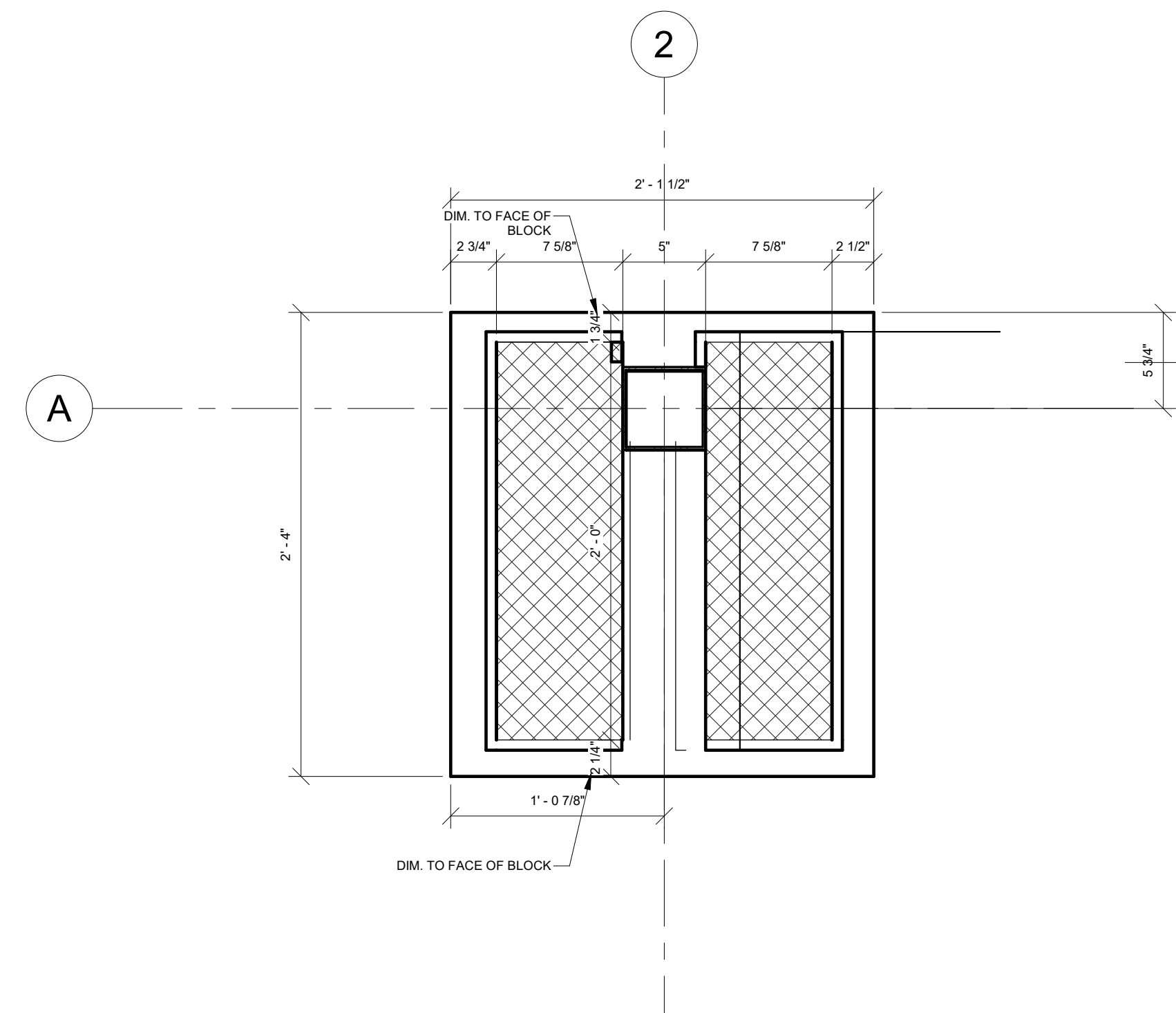
NO.	DATE	DESCRIPTION

REVISIONS



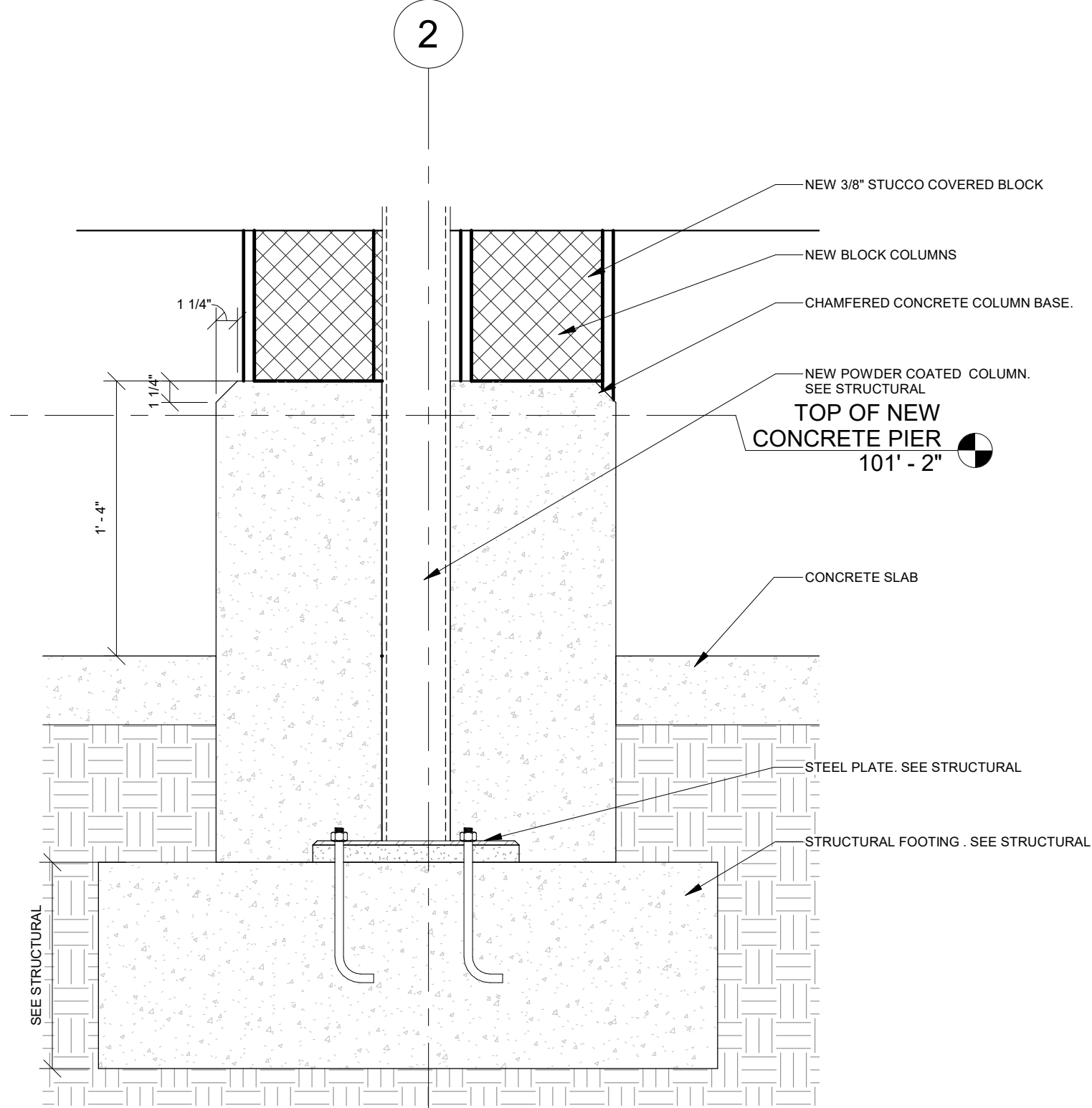
PAGE CITY, ARIZONA
LPN GOLF CLUB HOUSE DECK ADDITION
BUILDING SECTIONS

2208-076
PROJECT NUMBER
A-302
SHEET NO.

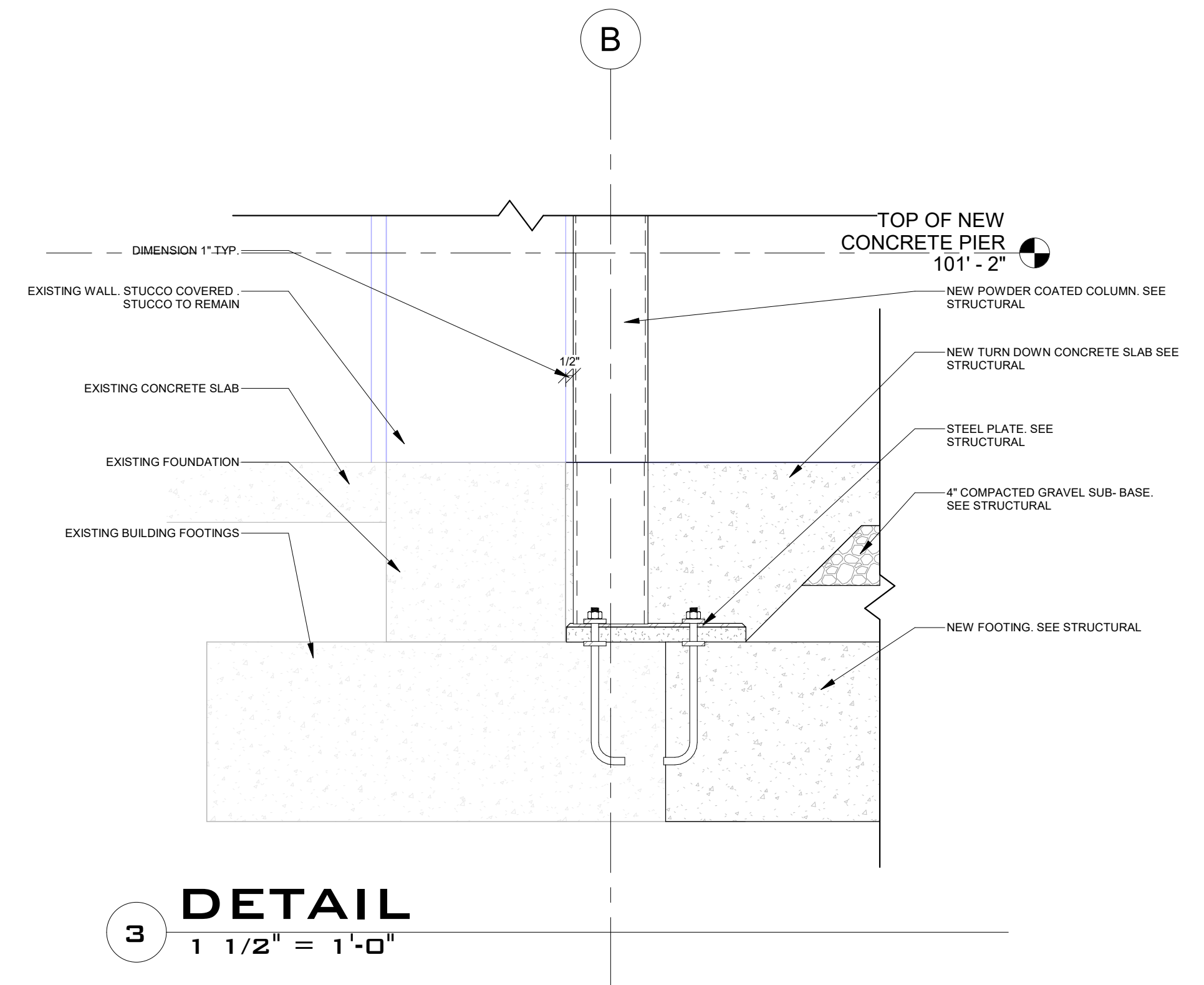


PLAN DETAIL

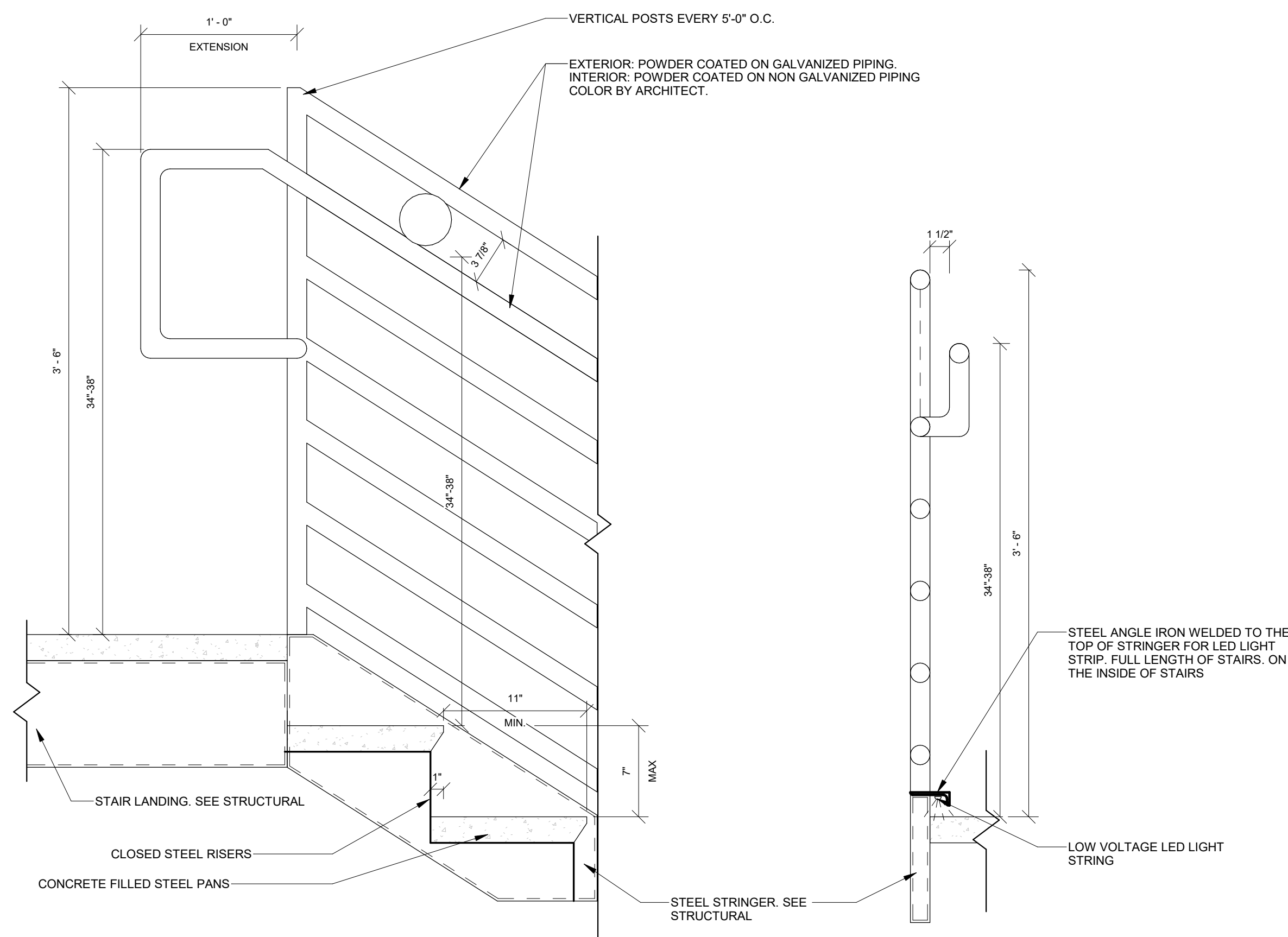
1 1 1/2" = 1'-0"



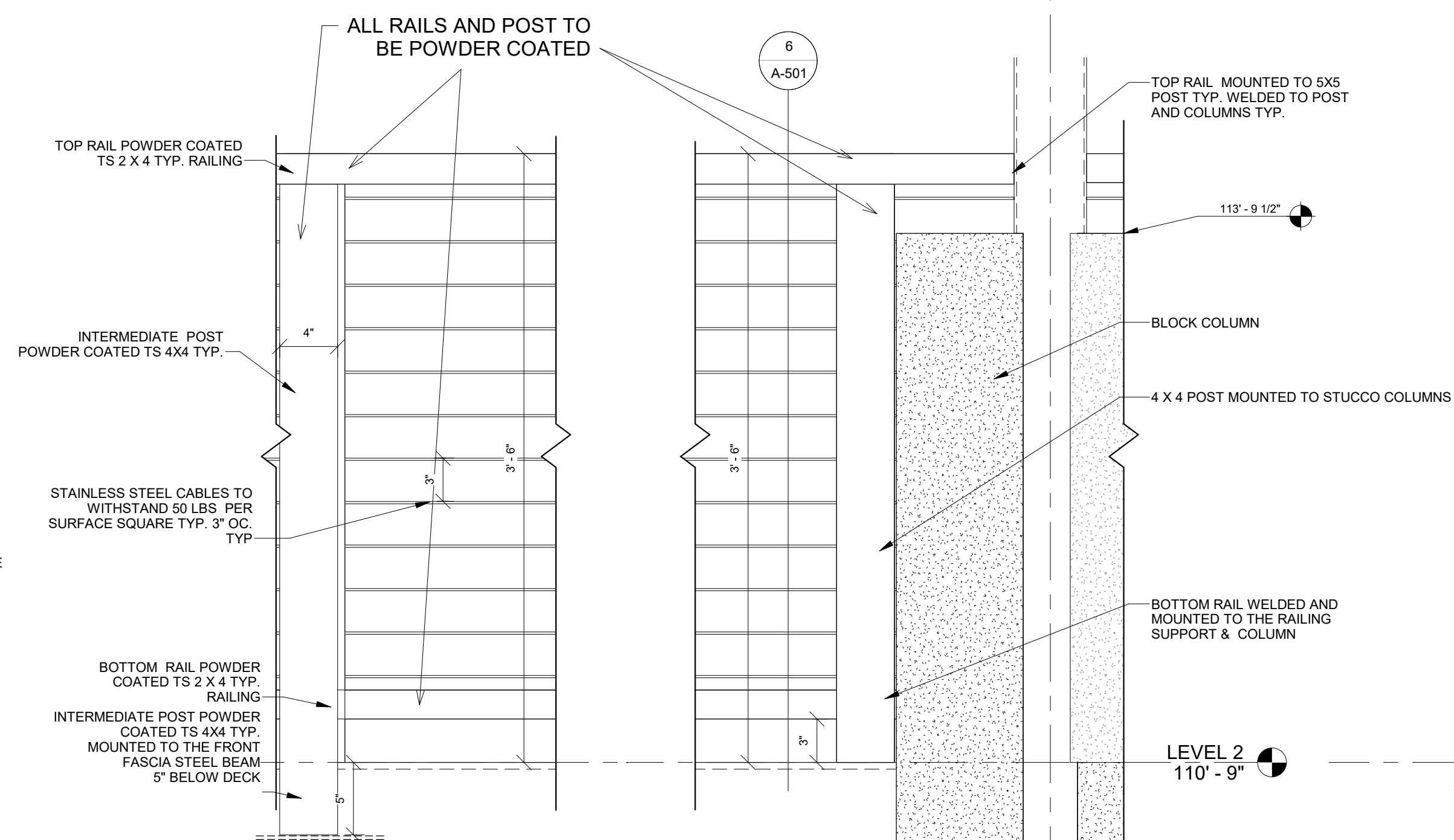
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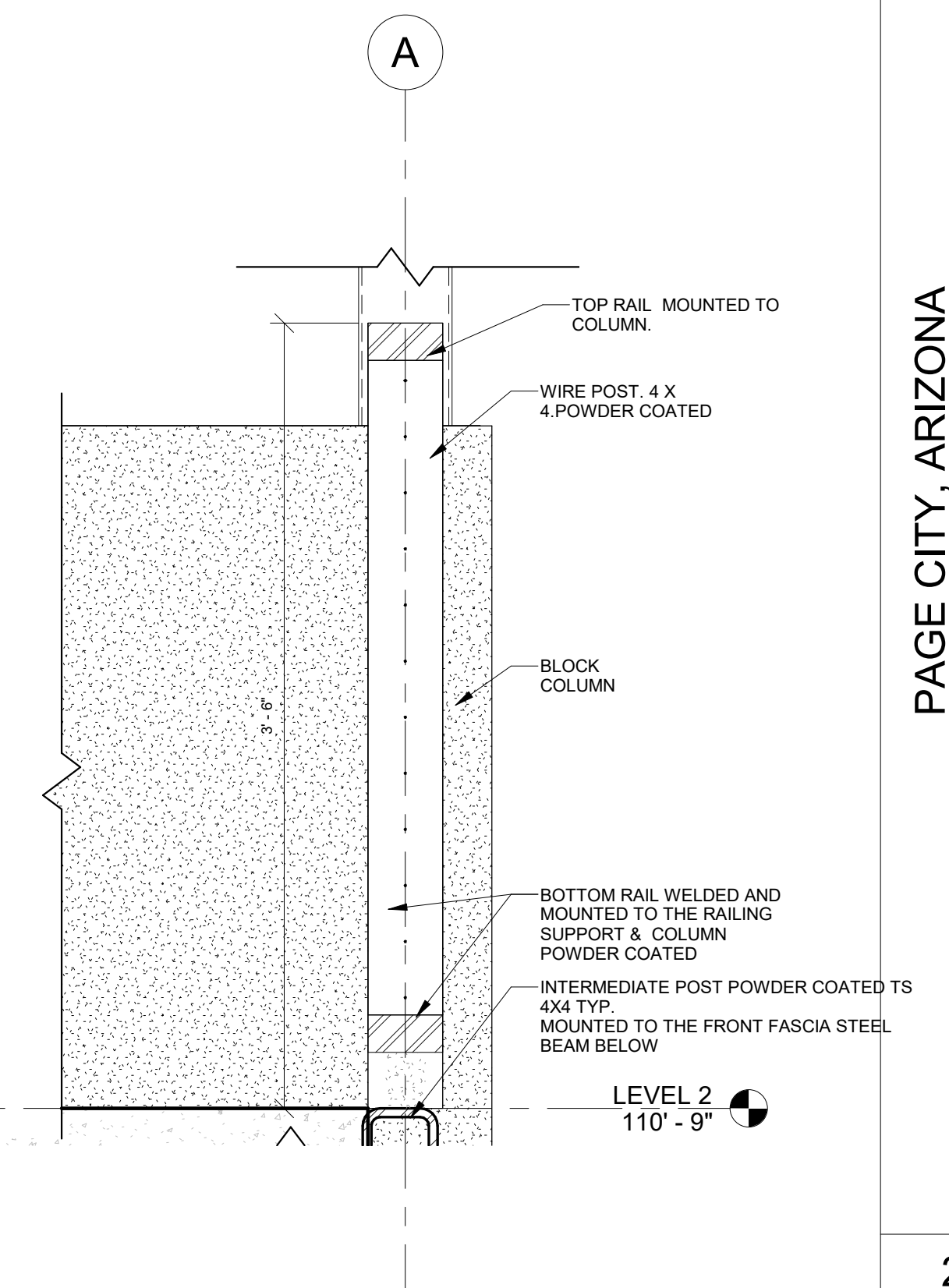
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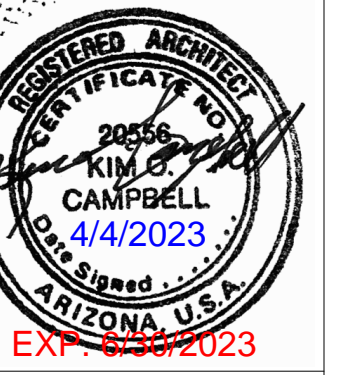
4 STAIR DETAIL



5 GLASS RAILING ELEVATION



GLASS RAILING SECTION



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PAGE CITY, ARIZONA

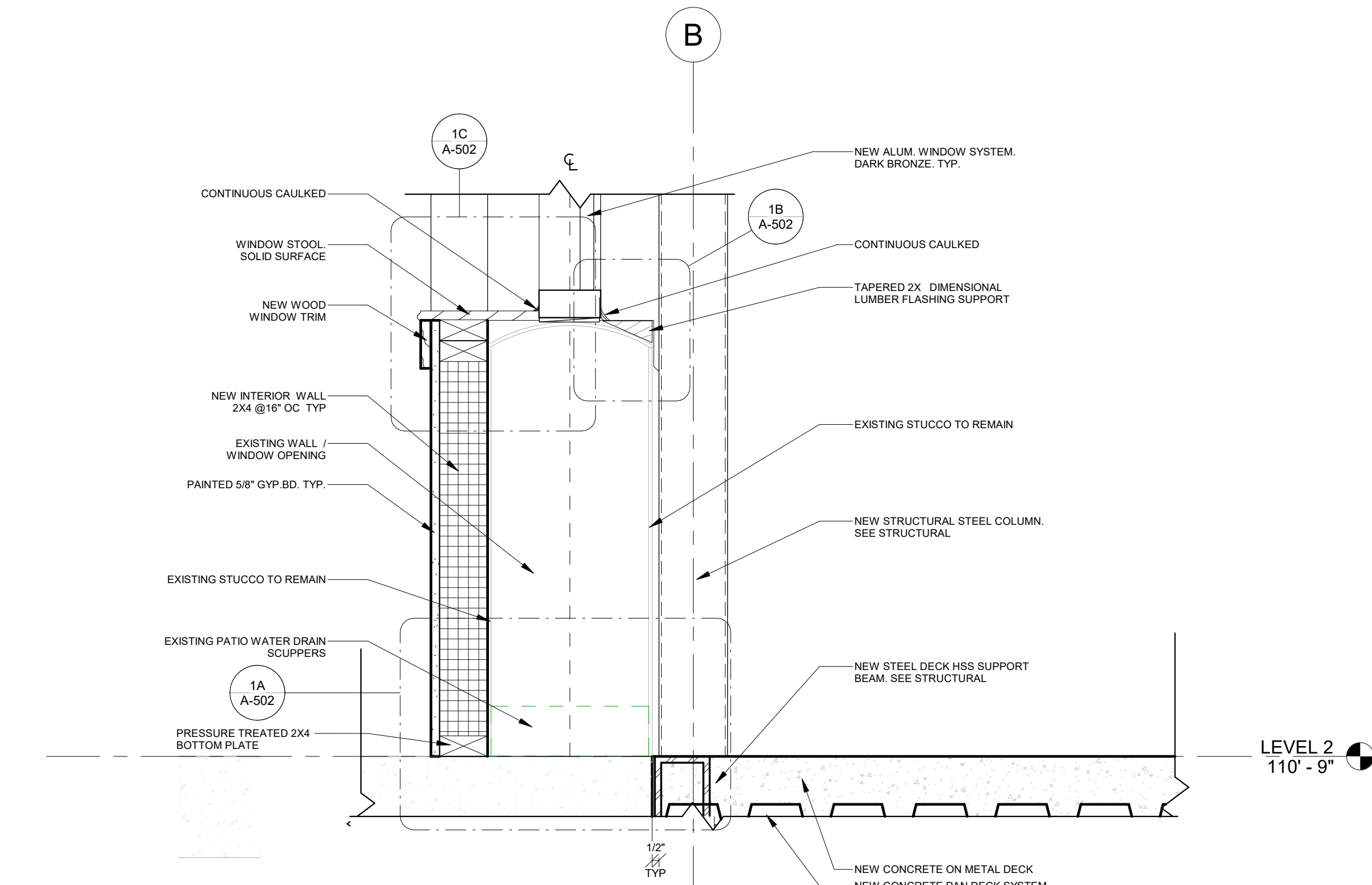
LPN GOLF CLUB HOUSE DECK ADDITION

ARCHITECTURAL DETAILS

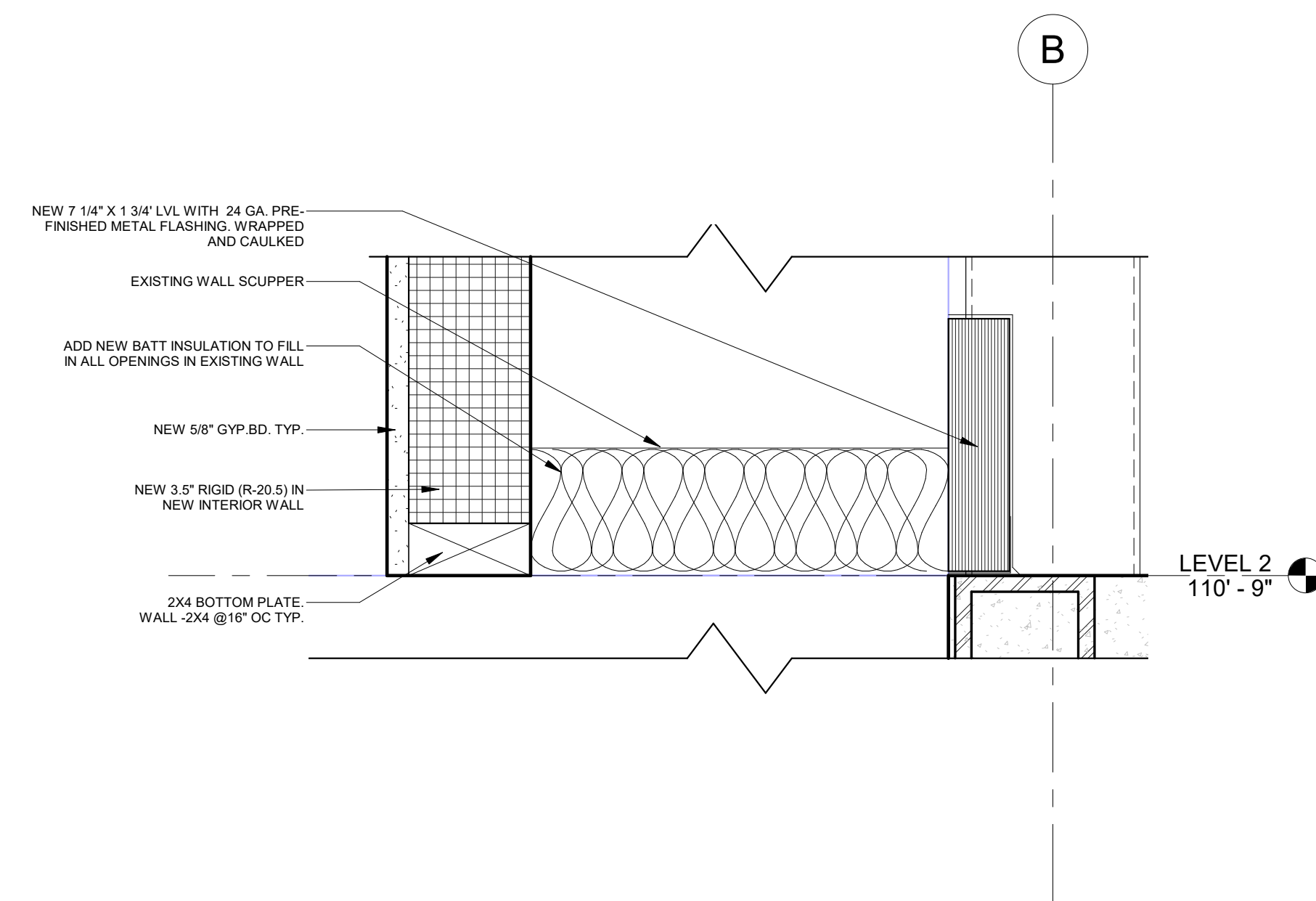
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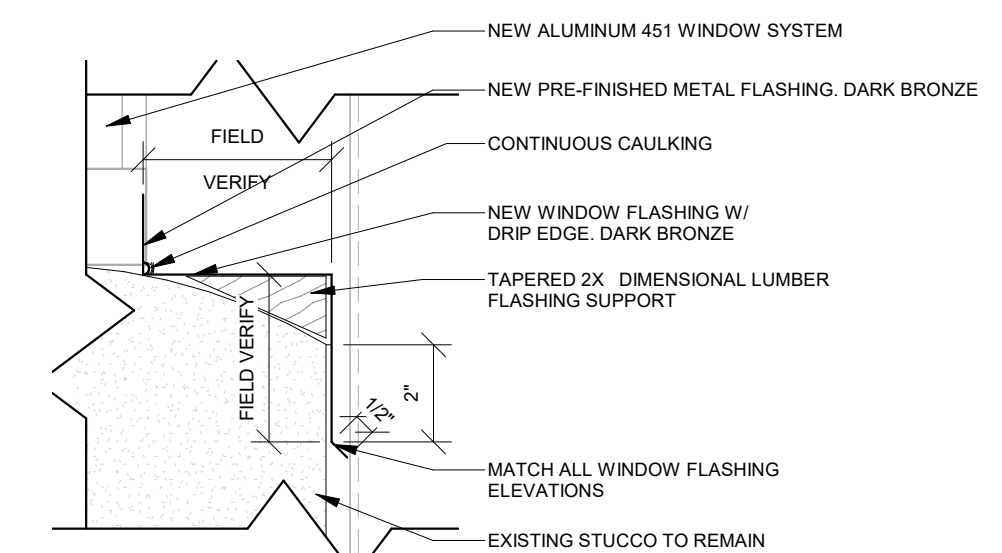
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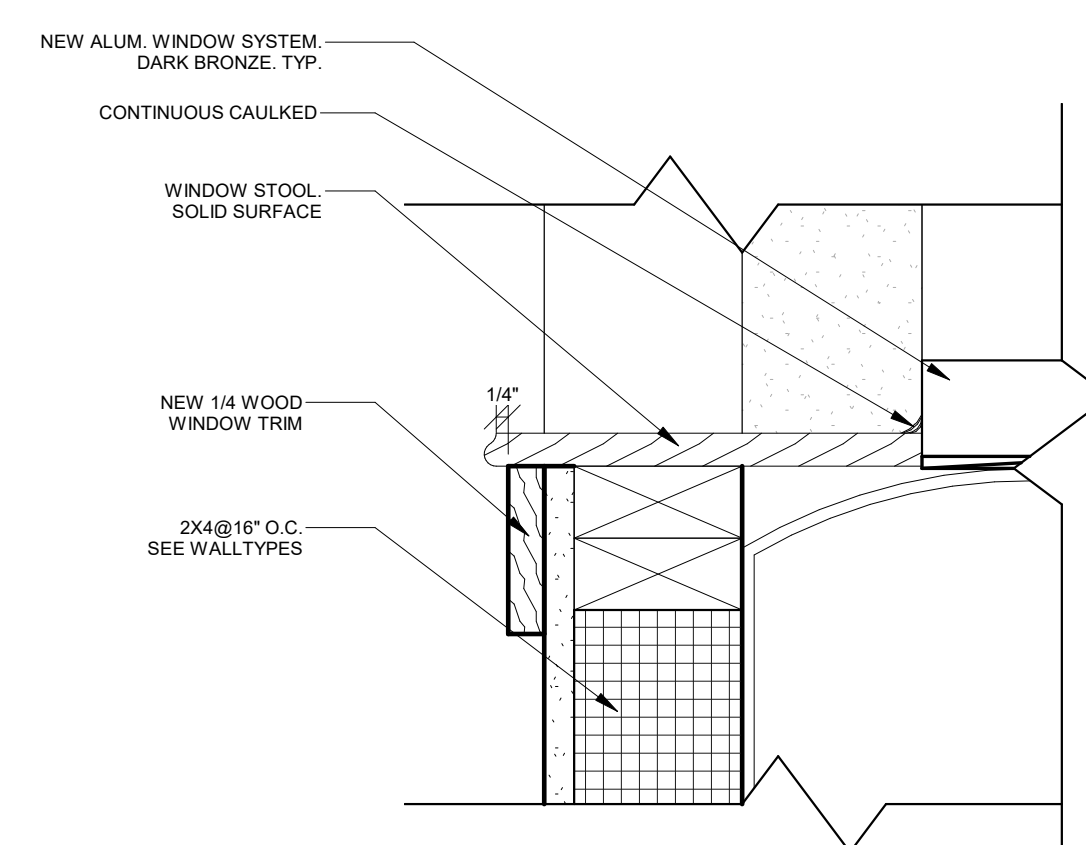
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1 1/2" = 1'-0"



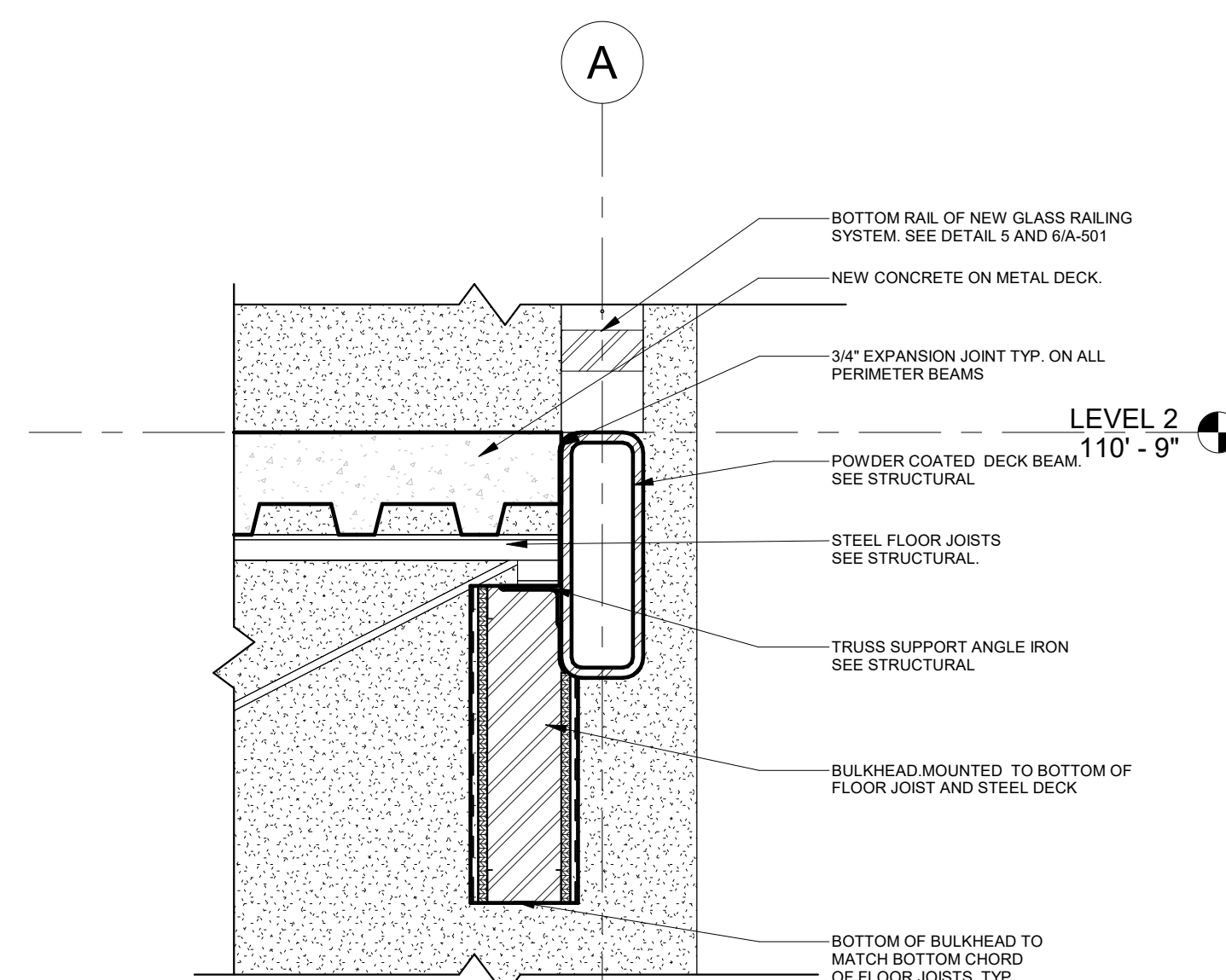
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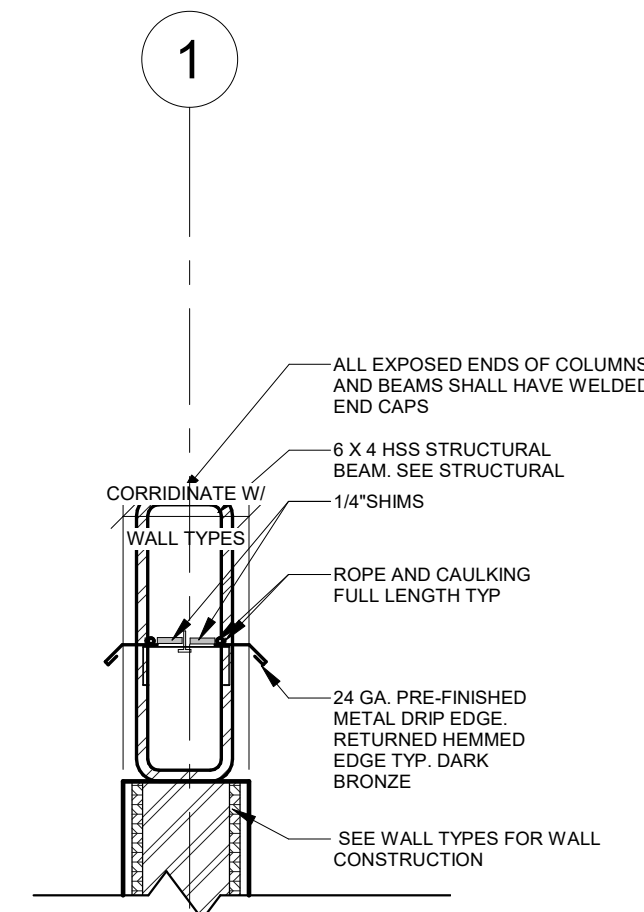
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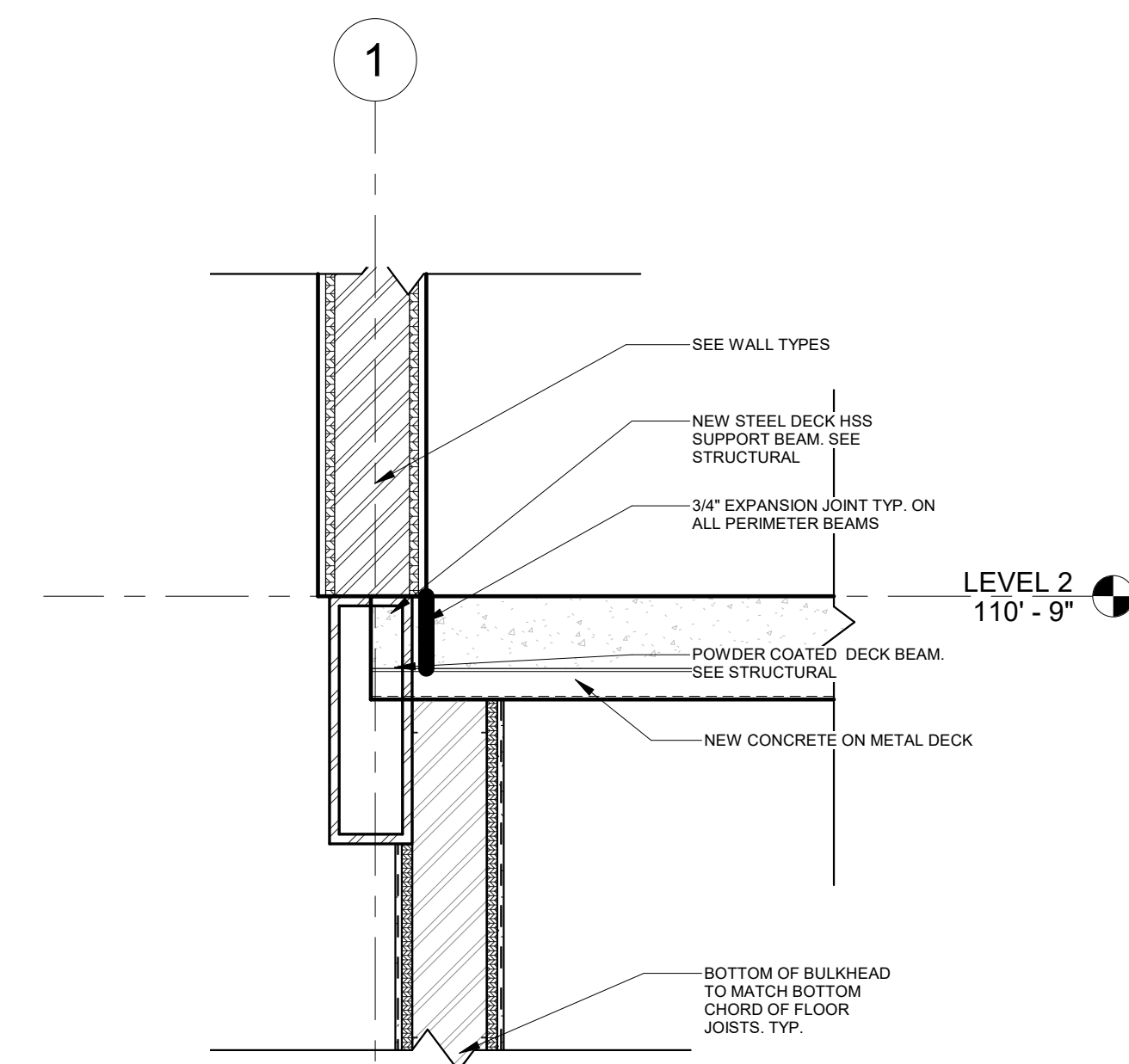
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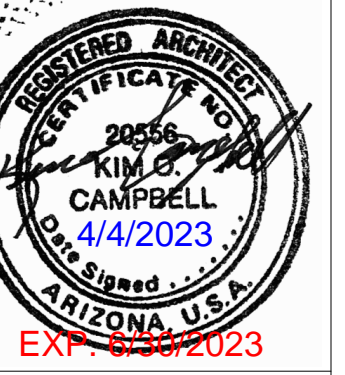
2 **DETAIL**
1 1/2" = 1'-0"




3 **DETAIL**
1 1/2" = 1'-0"



4 **DETAIL**
1 1/2" = 1'-0"



SUBMITTAL:



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PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

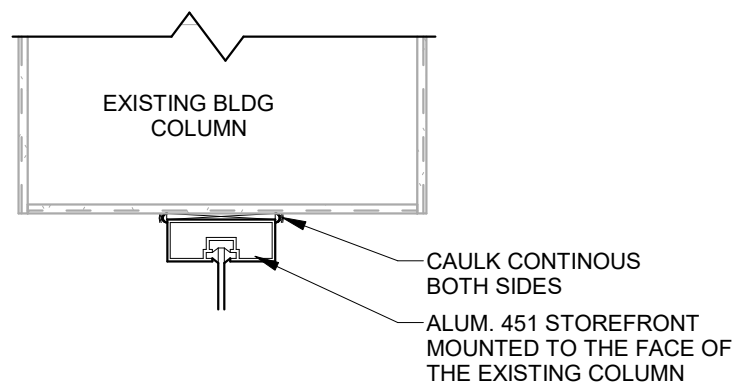
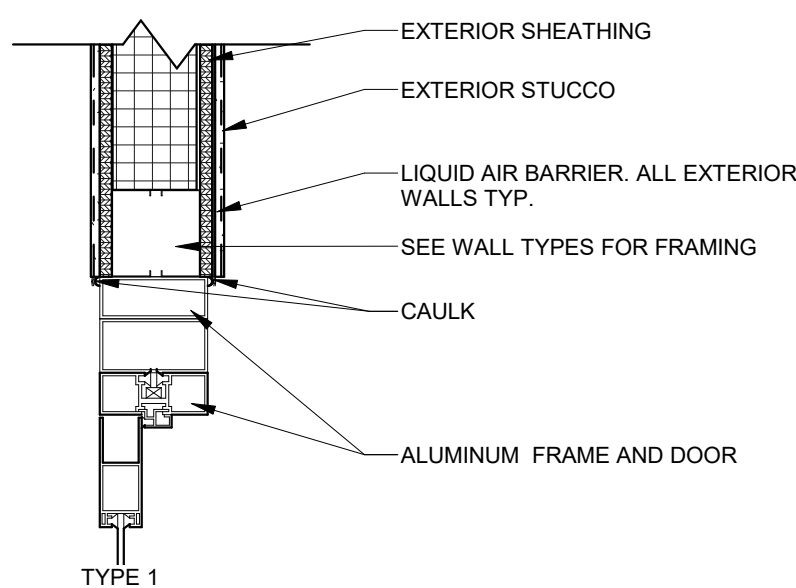
ARCHITECTURAL DETAILS

2208-076
PROJECT NUMBER

A-502

SHEET NO.

THE UNIVERSITY OF CHICAGO PRESS

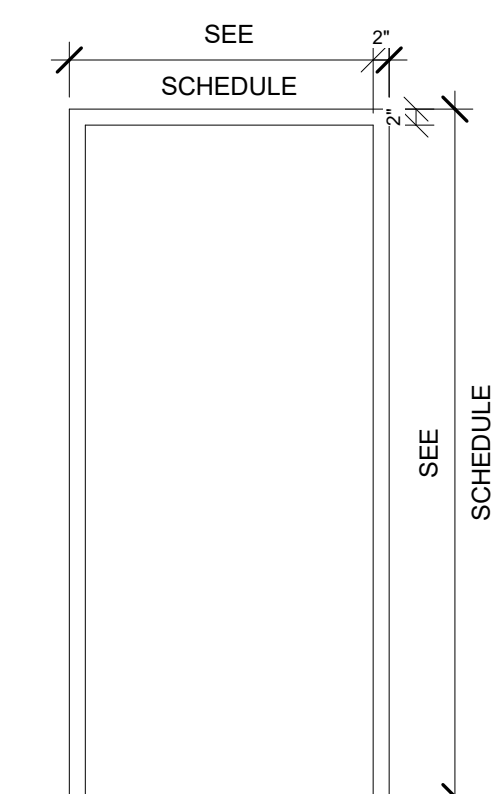


HEAD/JAMB

1 1/2" = 1'-0"

ALUMINUM EXTERIOR DOOR

1 1/2" = 1'-0"

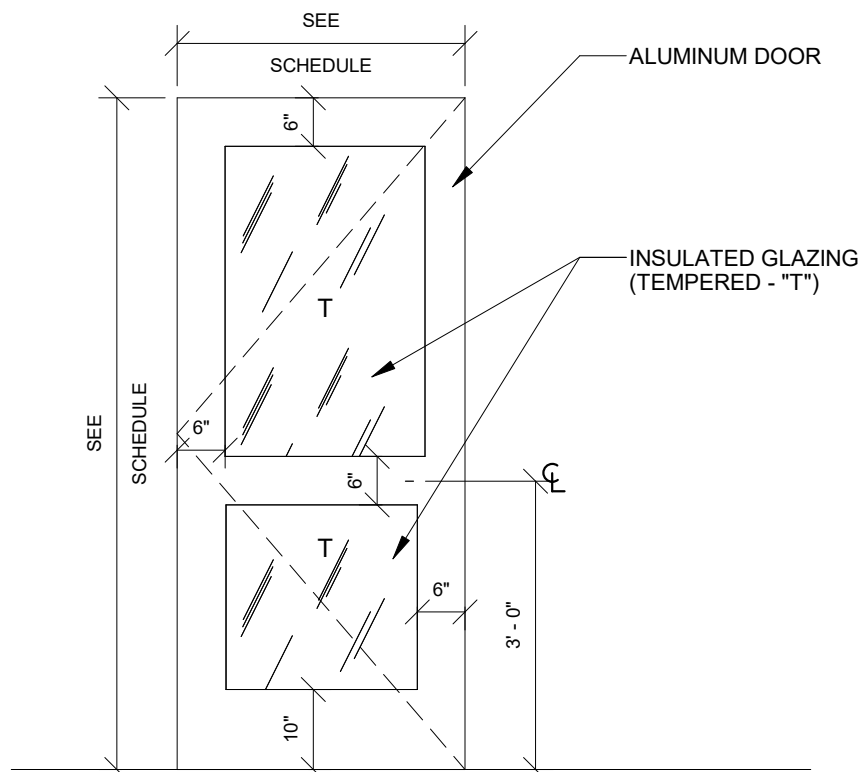


FRAME TYPE 1

451 ALUMINUM FRAME

FRAME

1/2" = 1'-0"

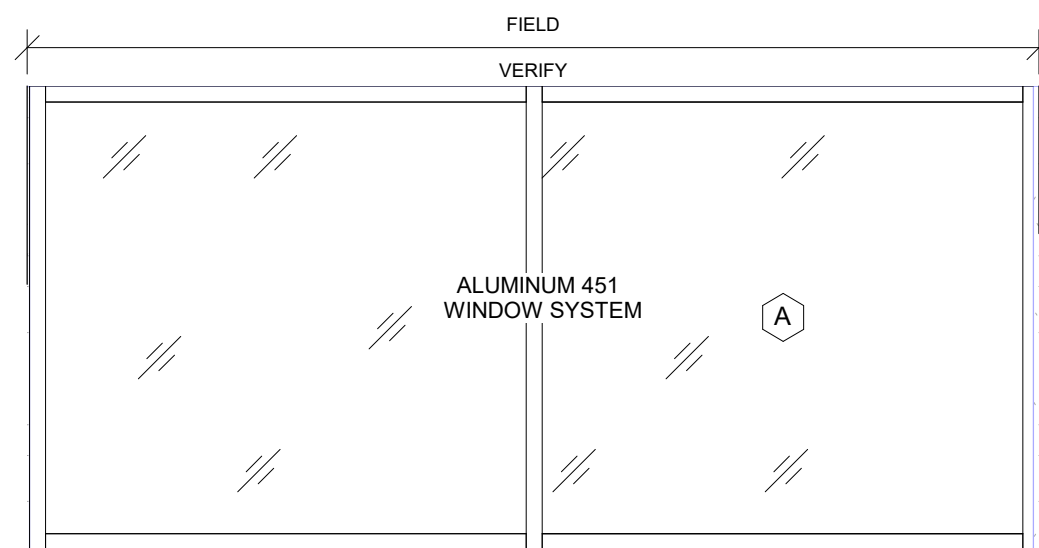


DOOR TYPE 1

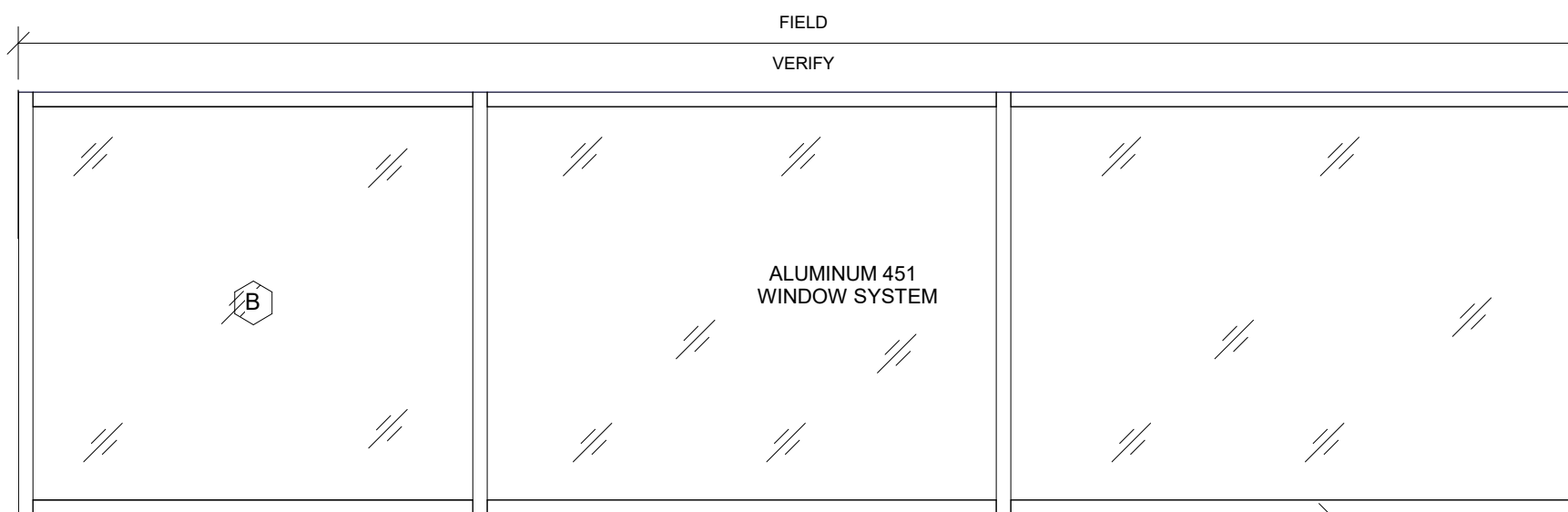
451 ALUMINUM STOREFRONT DOOR

DOOR TYPE

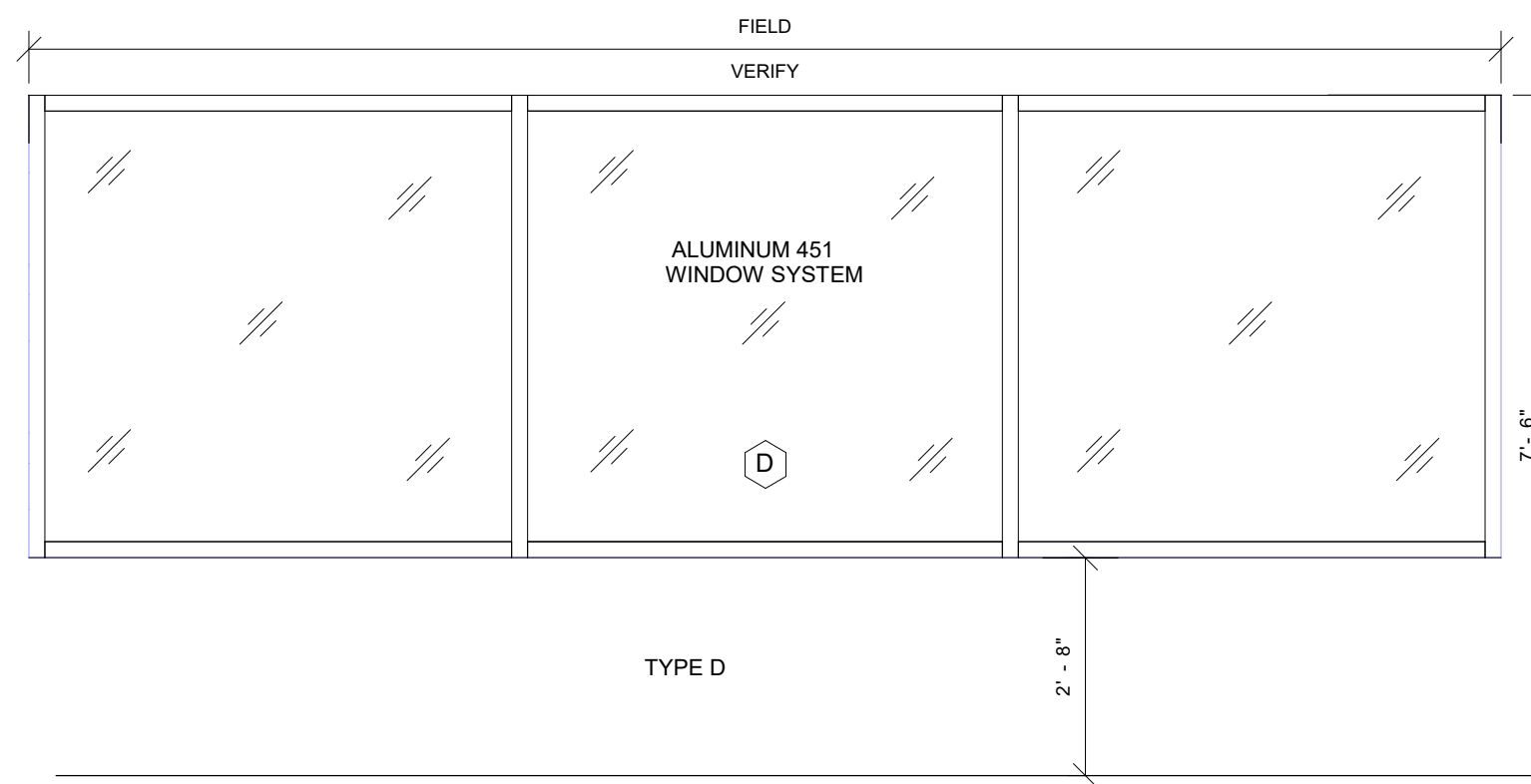
1/2" = 1'-0"



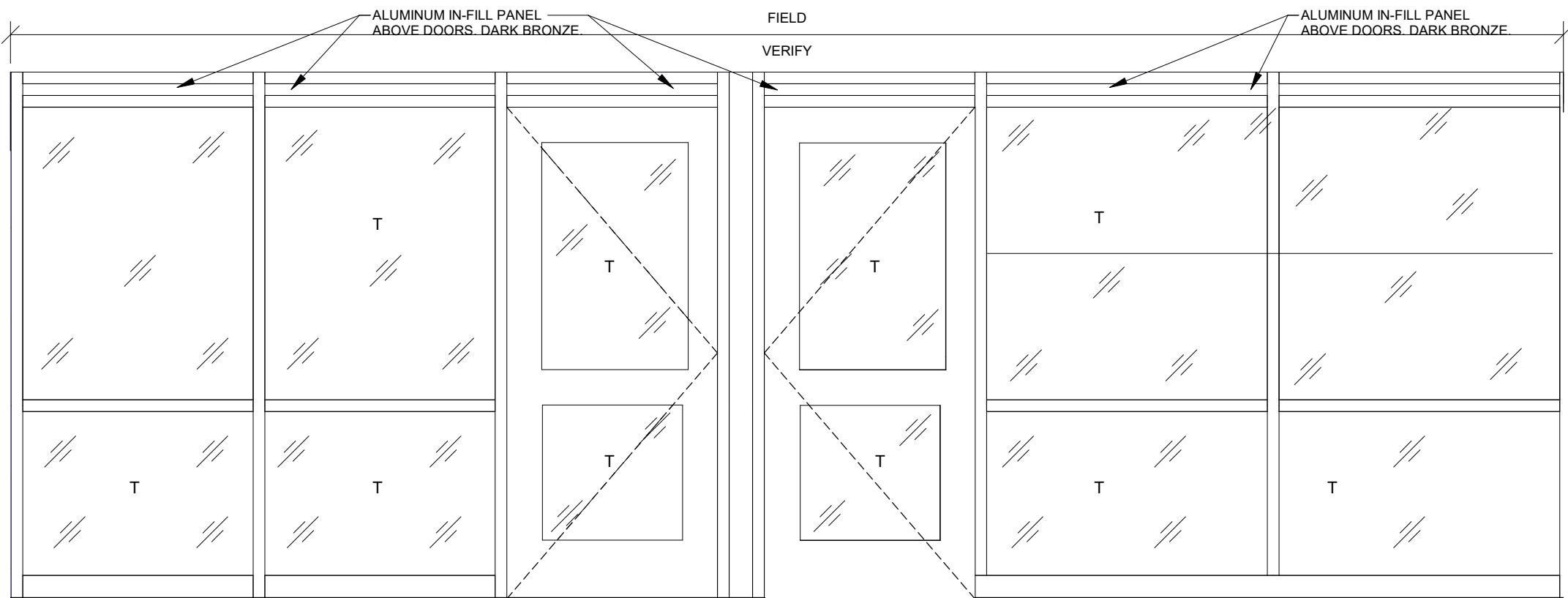
TYPE A



TYPE B



TYPE D



TYPE C

WINDOW TYPES

1/2" = 1'-0"

ROOM FINISH SCHEDULE

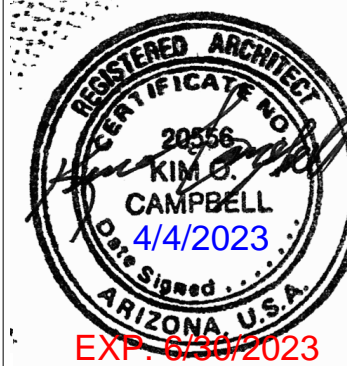
Room		Floor Finish	Base Finish	Walls				Comments
Number	Name			North	South	East	West	
101	EXISTING DECK TO BE ENCLOSED	OSIS	4" RUBBER	-	-	-	-	
102	NEW OPEN DECK	PER OWNER	-	STUCCO	STUCCO	METAL CLADING ON LVL	STUCCO	

DOOR SCHEDULE

MARK	ROOM NUMBER	DOOR TYPE	Frame Type	DOOR			HEAD	JAMB	SILL	HARDWARE GROUP	GENERAL
				WIDTH	HEIGHT	THICKNESS					REMARKS
101A	101	1	1	3' - 0"	7' - 0"	1 3/4"	-	2		EXIT DEVICE	
102A	102	1	1	3' - 0"	7' - 0"	1 3/4"	-	2		EXIT DEVICE	
102B	102	1	C	3' - 0"	7' - 0"	1 3/4"	1	2		EXIT DEVICE	
102C	102	1	C	3' - 0"	7' - 0"	1 3/4"	1	2		EXIT DEVICE	
102D	102	1	C	3' - 0"	7' - 0"	1 3/4"	-	2		EXIT DEVICE	

DOOR AND WINDOW NOTE

- ALL EXTERIOR GLAZING TO BE GUARDIAN GLASS SNX 62 / 27 CRYSTALGRAY - CLEAR
 - FIXED WINDOWS:
 - U-FACTOR = 0.38 MAX
 - SHGC = 0.40 MAX
 - ENTRANCE DOORS:
 - U-FACTOR = .77 MAX
 - SHGC = 0.40 MAX
- ALL DOORS AND WINDOW METAL SHALL BE DARK BRONZE.
- PROVIDE CODE REQUIRED TEMPERING ON ALL DOORS/WINDOWS TYP.



SUBMITTAL:

REVISIONS



PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

ARCHITECTURAL SCHEDULES

2208-076
PROJECT NUMBER

A-601
SHEET NO.

MECHANICAL SYMBOL LEGEND

FD FSD
U.T.R.
§
(E)

PLUMBING SYMBOLS AND ABBREVIATIONS

_____	CW
_____	HW
_____	HWR
_____G_____	G
_____	V
_____	W
_____W_____	W
_____RD_____	RD
_____RDO_____	RDO
_____A_____	A
_____NO_____	NO
_____C_____	C
_____CO_____	CO
_____O_____	O

	V
	FCO
	COTG
	WCO
	FD
	VTR
	RD/RDO
	PRV
	POC

DEFERRED SUBMITTAL

SEISMIC VIBRATION AND ISOLATION DESIGN SHALL BE A DEFERRED SUBMITTAL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, DETAILS AND CALCULATIONS TO THE BUILDING DEPARTMENT FOR REVIEW.

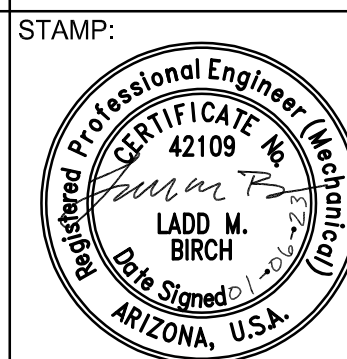
REGISTERS, DIFFUSERS AND GRILLES		
SYMBOL	DESCRIPTION	SPECIFICATION
CD	CEILING DIFFUSER	CEILING SUPPLY DIFFUSERS SHALL BE PLAQUE FACED PRICE SPD, WITH BORDER TYPE 36 FOR LAY-IN CEILINGS OR BORDER TYPE 6 FOR SURFACE MOUNTING IN OTHER THAN LAY IN CEILINGS, BAKED ENAMEL FINISH FOR BLOW AND PATTERN SHOWN ON DRAWINGS.
RG	RETURN GRILLE	CEILING RETURN GRILLES SHALL BE PRICE PDDR WITH REMOVABLE PERFORATED FACEPLATE AND BAKED ENAMEL FINISH. BORDER TYPE 3 FOR LAY IN CEILINGS OR BORDER TYPE 1 FOR SURFACE MOUNT.

PROPANE GAS SCHEDULE			
SYMBOL	GAS INPUT (BTU)	LONGEST LENGTH (FT)	PRESSURE
EXISTING AC UNIT	75,000		11" W.C.
EXISTING AC UNIT	75,000		11" W.C.
EXISTING AC UNIT	75,000		11" W.C.
EXISTING MUA	250,000		11" W.C.
EXIST WTR HTR	178,000		11" W.C.
EXISTING RANGE	258,000		11" W.C.
EXISTING FRYER	110,000		11" W.C.
NEW RTU-048	67,000		11" W.C.
TOTAL DEMAND	1,088,000	135	11" W.C.

PROPANE PIPE SIZED PER THE LONG LENGTH METHOD LISTED IN THE 2018 INTERNATIONAL FUEL GAS CODE, TABLE 402.4(28).

GAS/DX ROOFTOP UNIT SCHEDULE (PROPANE)																				
<div> <div>MANUF. AND MODEL NO.</div> <div>NOMINAL TONS</div> <div>PERFORMANCE</div> <div>SEER</div> <div>EER</div> <div>EFFICIENCY</div> <div>REFRIGERANT</div> </div>							SUPPLY FAN		HEATING SECTION		COOLING SECTION				ELECTRICAL		UNIT WEIGHT (LBS)	REMARKS		
							TOTAL AIR FLOW RATE (CFM)	OUTSIDE AIR FLOW RATE (CFM)	EXTERNAL STATIC PRESSURE DROP (IN H2O)	GAS INPUT (BTU/H)	FUEL	GROSS TOTAL COOLING LOAD (MBH)	GROSS SENSIBLE COOLING LOAD (MBH)	ENTERING AIR TEMP. DB/°F	AMBIENT AIR TEMP. DB	NO CONVENIENCE OUTLET WITH POWERED EXHAUST				
																VOLT-PHASE-HERTZ (V-PH-HZ)				
SYMBOL	MANUF. AND MODEL NO.	NOMINAL TONS	SEER	EER	EFFICIENCY	REFRIGERANT	TOTAL AIR FLOW RATE (CFM)	OUTSIDE AIR FLOW RATE (CFM)	EXTERNAL STATIC PRESSURE DROP (IN H2O)	GAS INPUT (BTU/H)	FUEL	GROSS TOTAL COOLING LOAD (MBH)	GROSS SENSIBLE COOLING LOAD (MBH)	ENTERING AIR TEMP. DB/°F	AMBIENT AIR TEMP. DB	MCA	MOCF	VOLT-PHASE-HERTZ (V-PH-HZ)	UNIT WEIGHT (LBS)	REMARKS
RTU - 048	CARRIER 48FC A05	4	14	11.6	80%	R-410A	1,600	140	0.3	67,000	PROPANE	44.6	32.5	80/67	105	25	30	208-3-60	885	1,2,3

1. WITH NON-FUSED DISCONNECT.
2. STANDARD LEAK TEMPERATURE CONTROLLED DRY BULB ECONOMIZER WITH BAROMETRIC RELIEF.
3. WITH FIELD INSTALLED HAIL GUARDS. (SINGLE STAGE)



SUBMITTAL:

REV.	DATE	DESCRIPTION
REVISIONS		

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PAGE CITY, ARIZONA

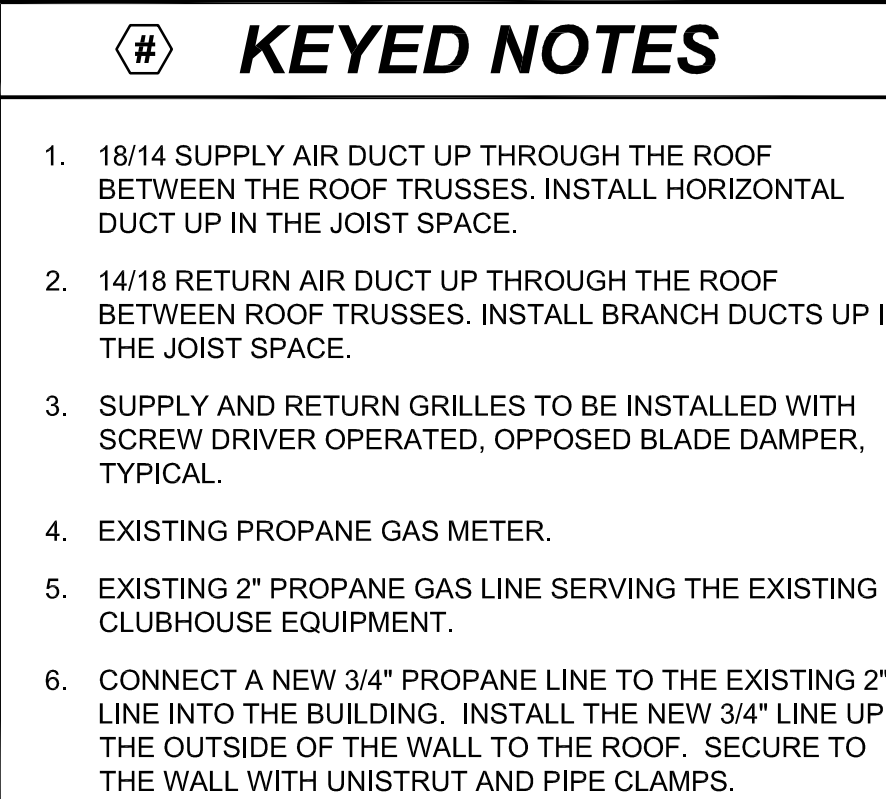
LPN GOLF CLUB HOUSE DECK ADDITION

MECHANICAL LEGEND, ABRIVIATIONS & SCHEDULES


2208-076
PROJECT NUMBER

M001

SHEET NO.




STAMP:



Professional Engineer (Mechanical)
CERTIFICATE No. 42109
LADD M. BIRCH
Date Signed 01-06-2007
ARIZONA, U.S.A.

SUBMITTAL:		
DATE	REVISIONS	



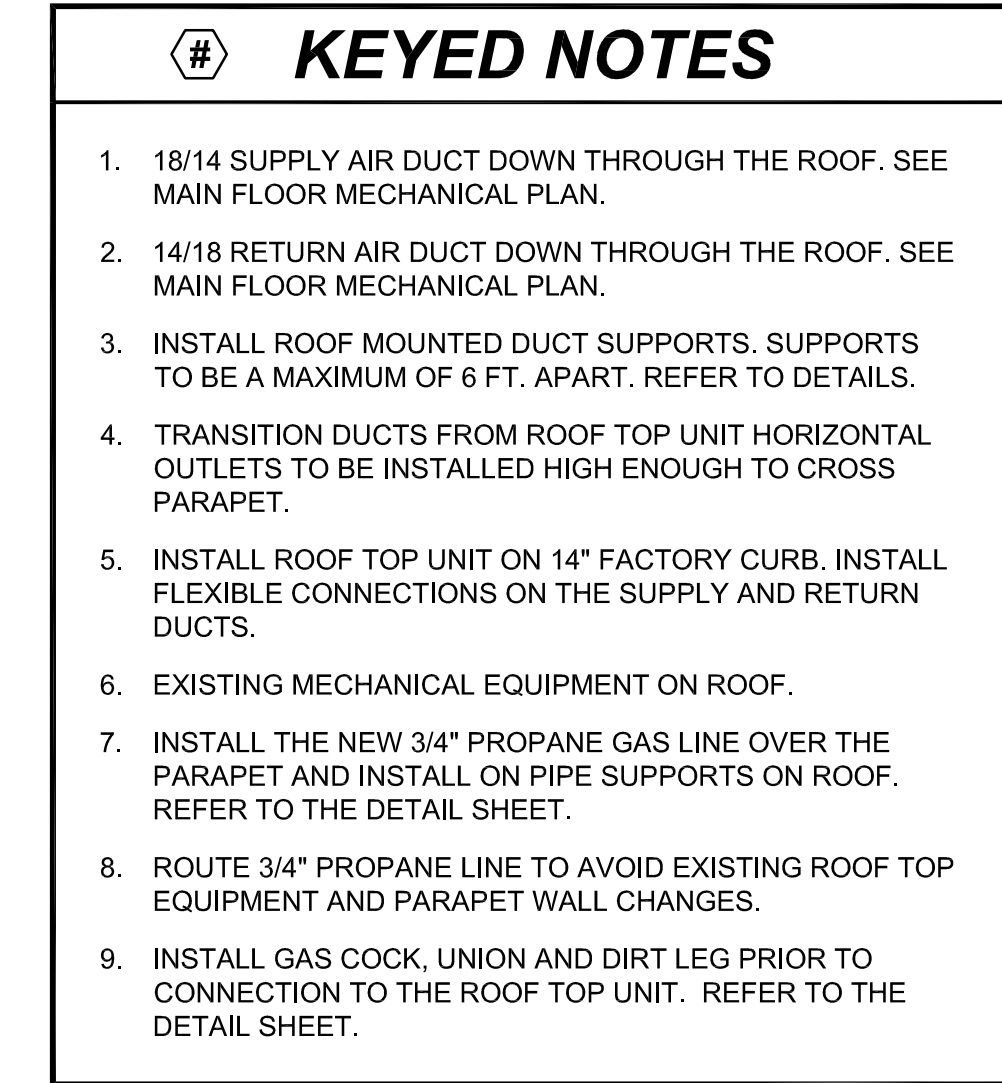
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PAGE CITY, ARIZONA


2208-076
PROJECT NUMBER

M101

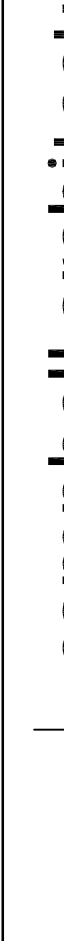
SHEET NO.



STAMP:



Registered Professional Engineer (Mechanical)
CERTIFICATE No. 42109
LADD M. BIRCH
Date Signed 01-26-2012
ARIZONA, U.S.A.

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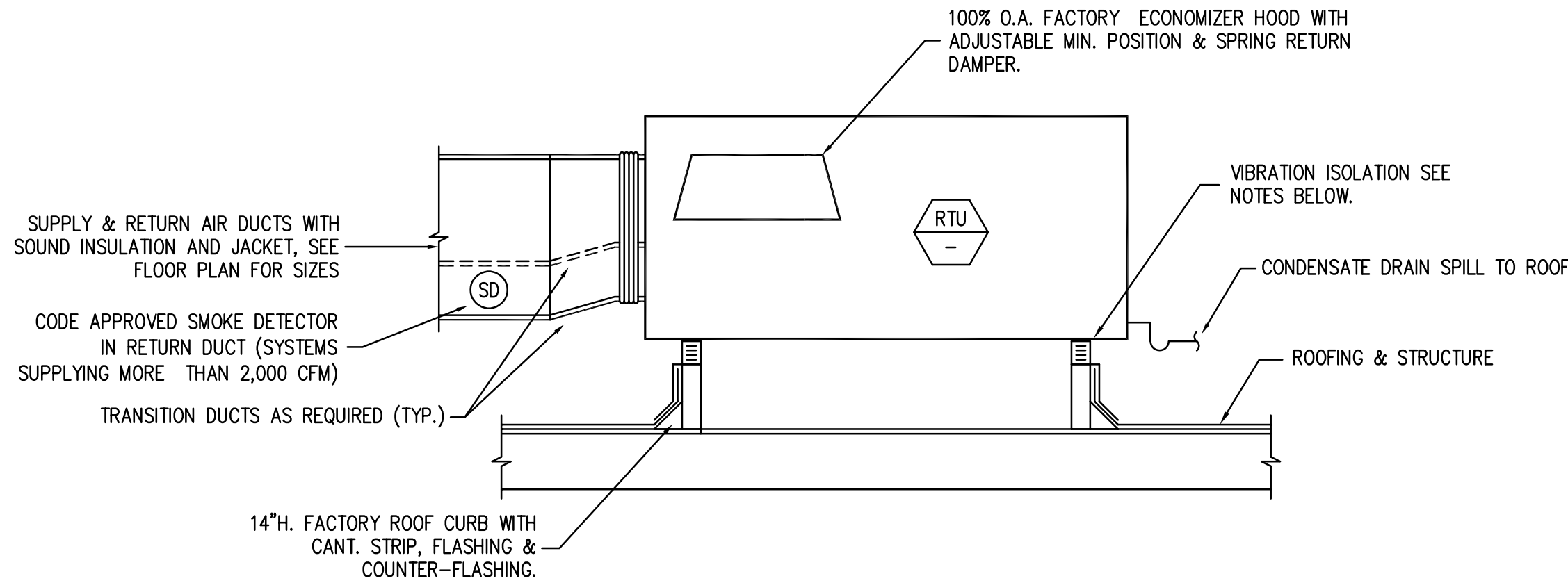
PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

ROOF MECHANICAL PLAN

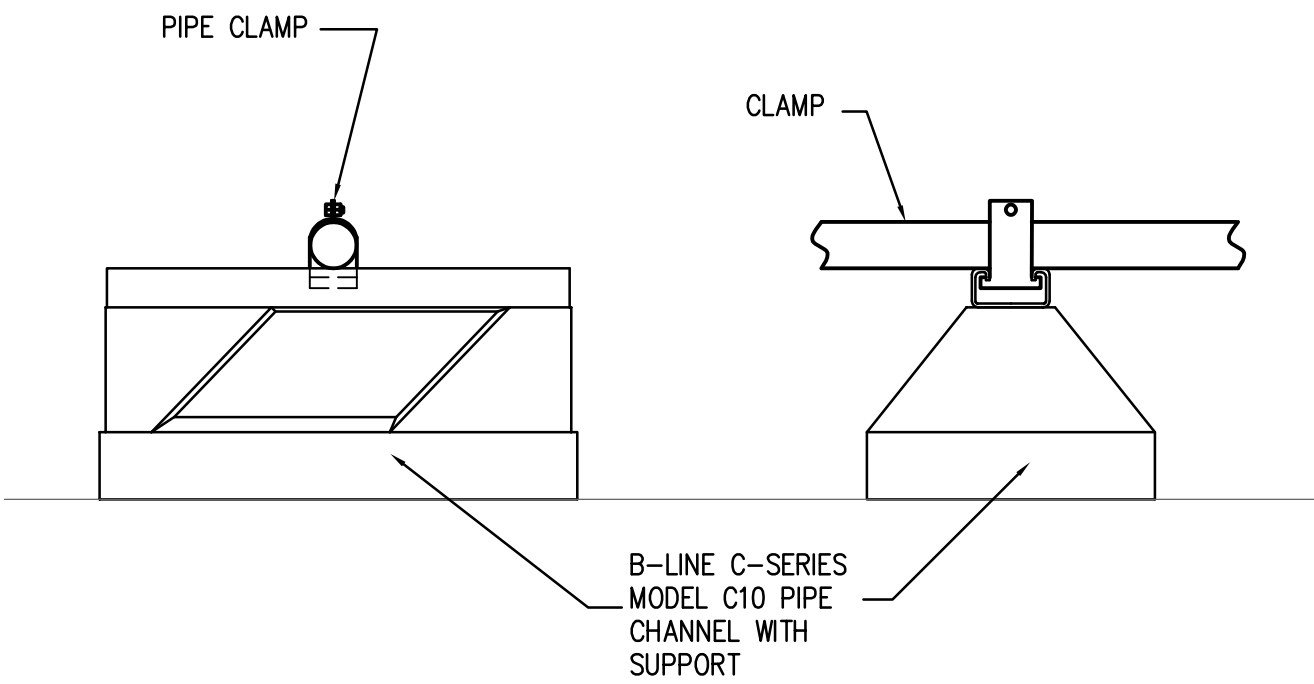
2208-076
PROJECT NUMBER
M102
SHEET NO.

1 ROOF MECHANICAL PLAN
1/4" = 1'-0"

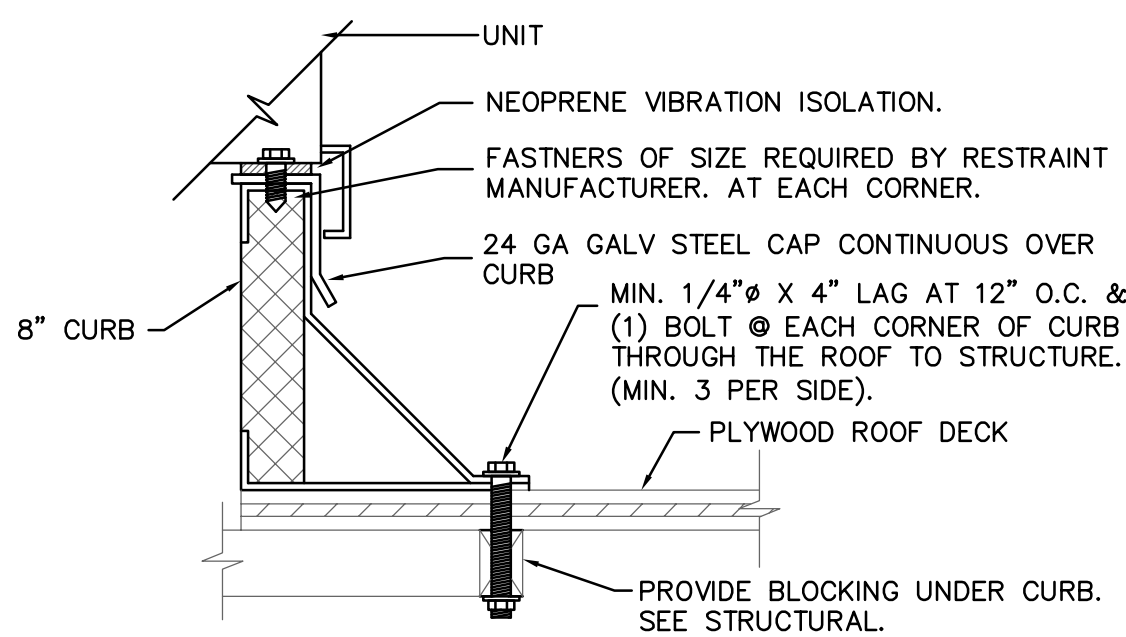


- NOTES:
1. COORDINATE EXACT LOCATION AND FRAMING OF WALL OPENINGS WITH GENERAL CONTRACTOR.
 2. VIBRATION ISOLATION SHALL BE FACTORY FURNISHED NEOPRENE GASKET.

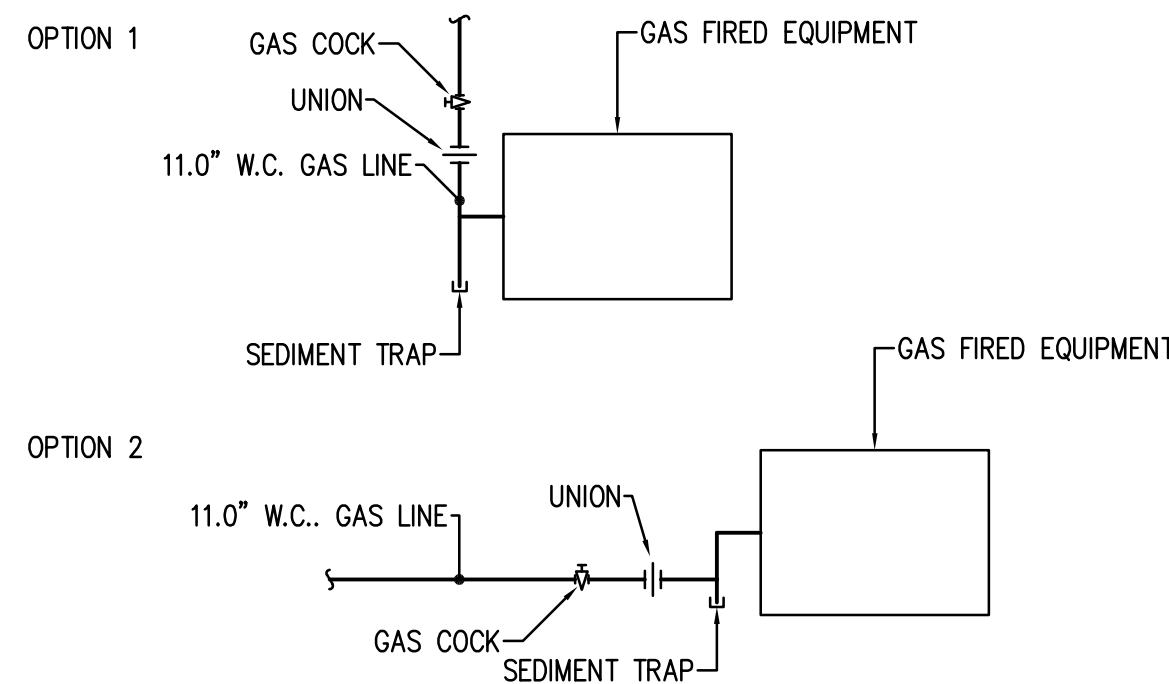
9 ROOF TOP UNIT DETAIL (SIDE DISCHARGE)
NO SCALE



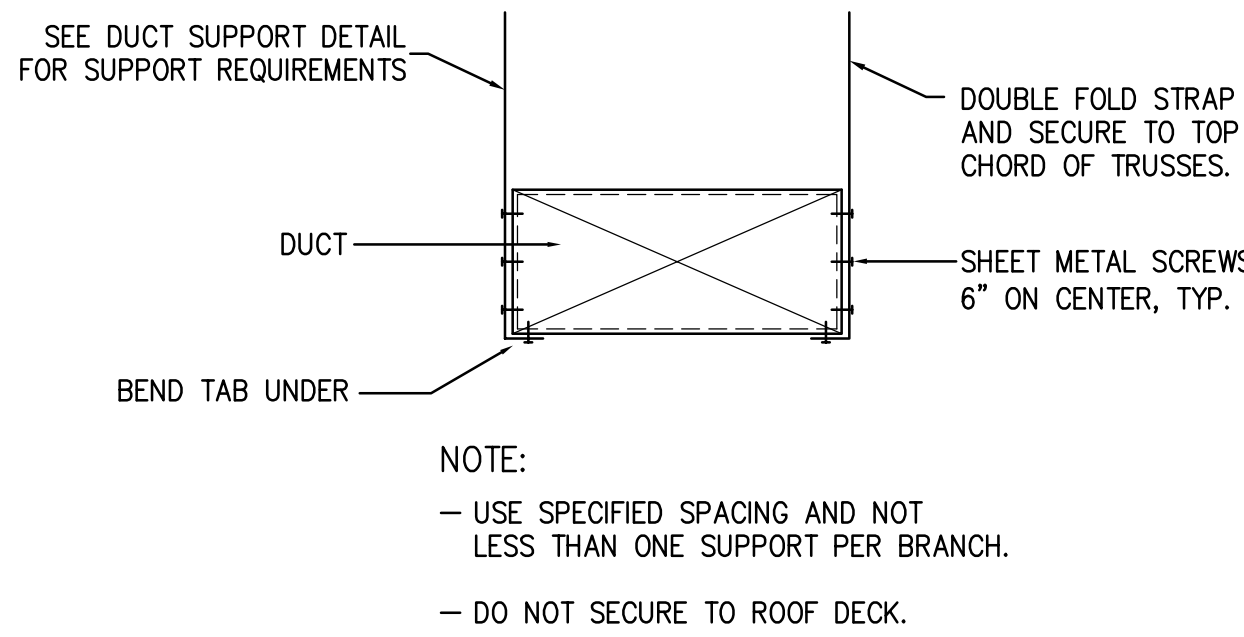
12 PIPE CLAMP AND SUPPORT (ROOF)
NO SCALE



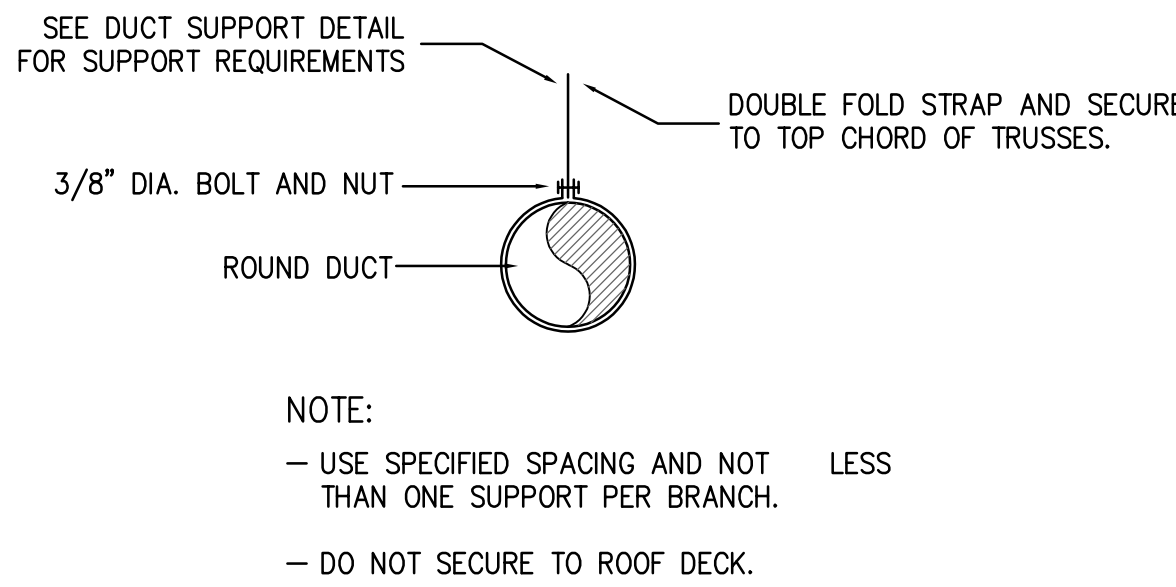
10 ROOF CURB INSTALLED ON WOOD DECK DETAIL
NO SCALE



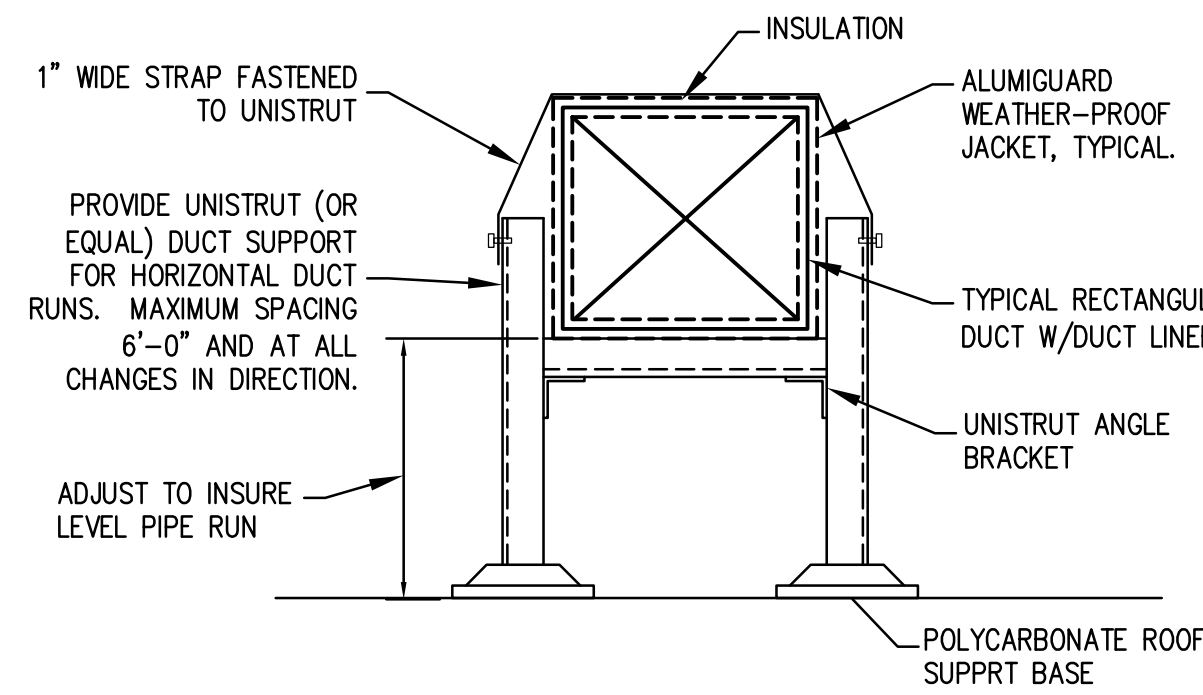
11 PROPANE GAS CONNECTION TO EQUIPMENT DETAIL
NO SCALE



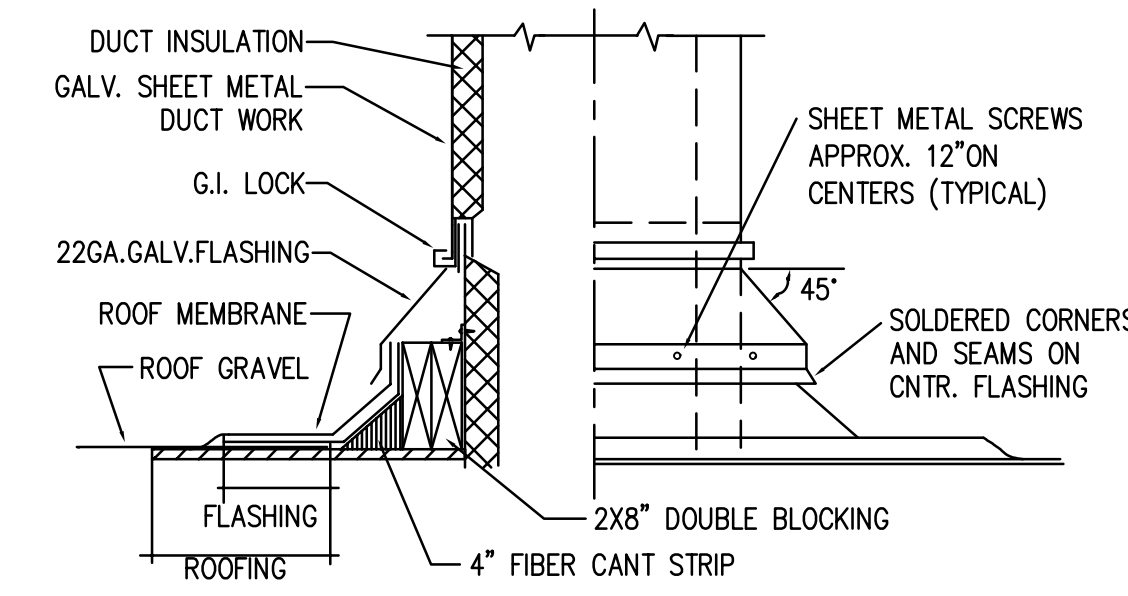
5 RECTANGULAR DUCT SUPPORT DETAIL
NO SCALE



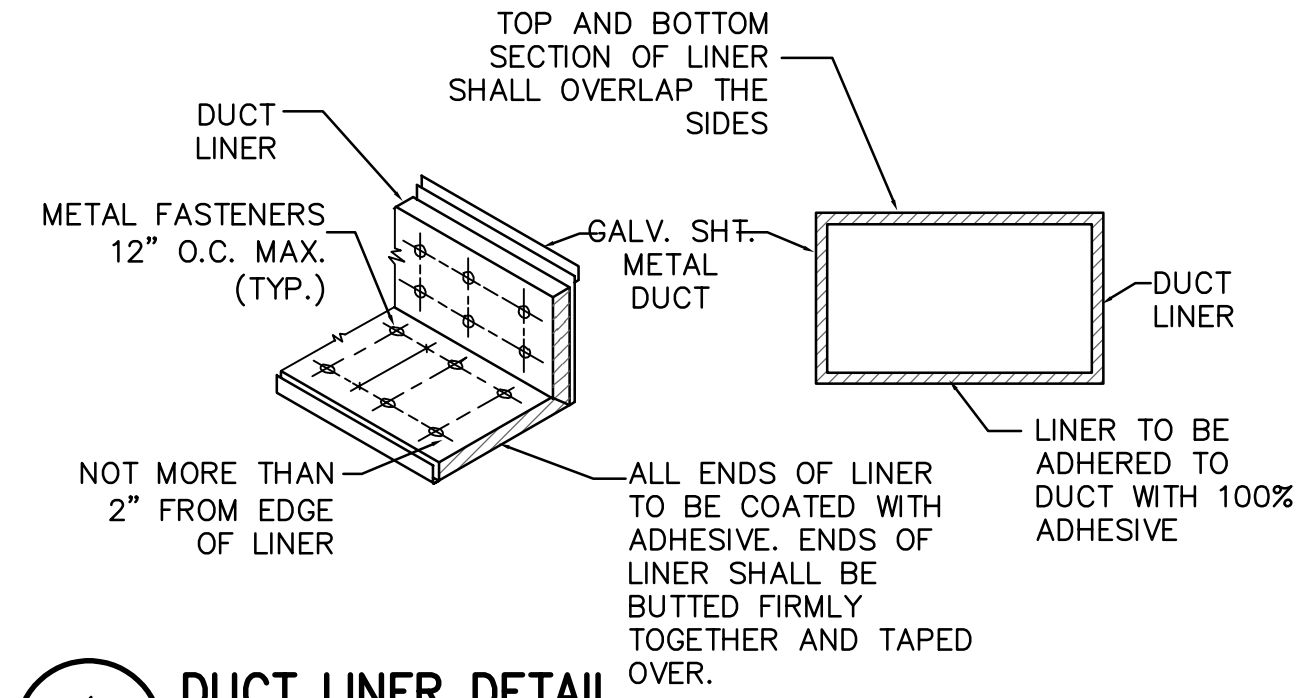
6 ROUND DUCT SUPPORT DETAIL
NO SCALE



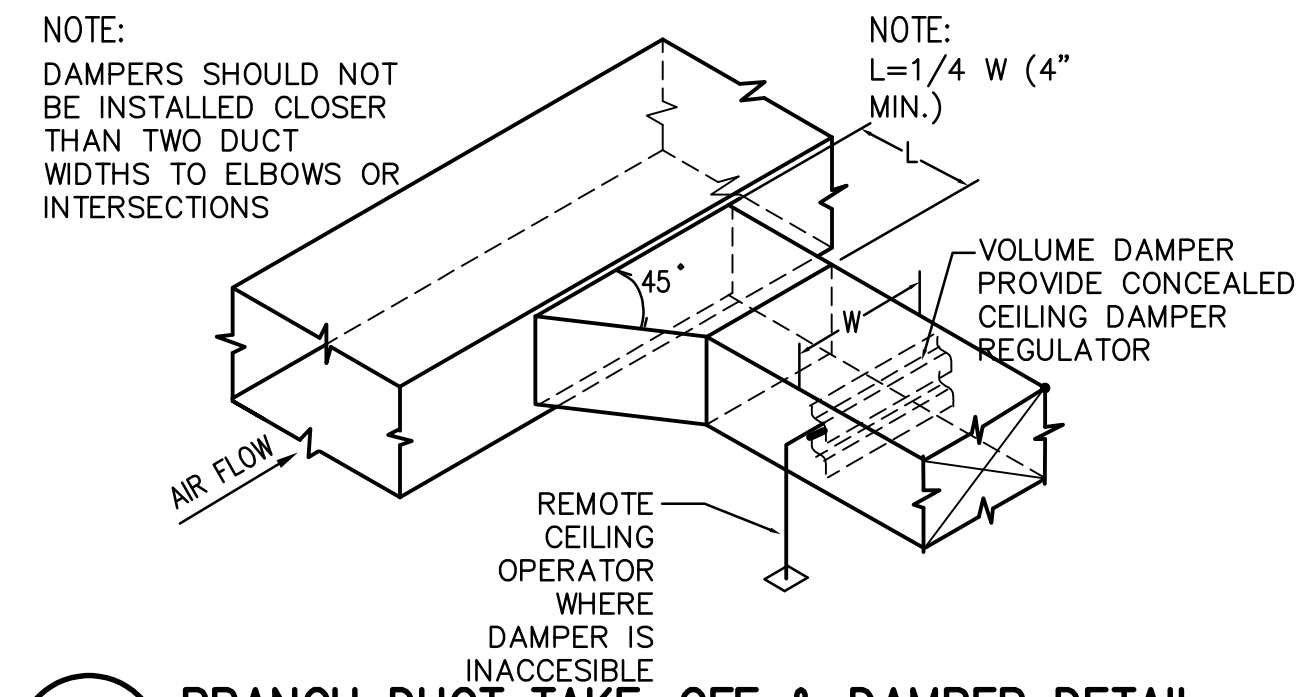
7 ROOF PIPING SUPPORT DETAIL
NO SCALE



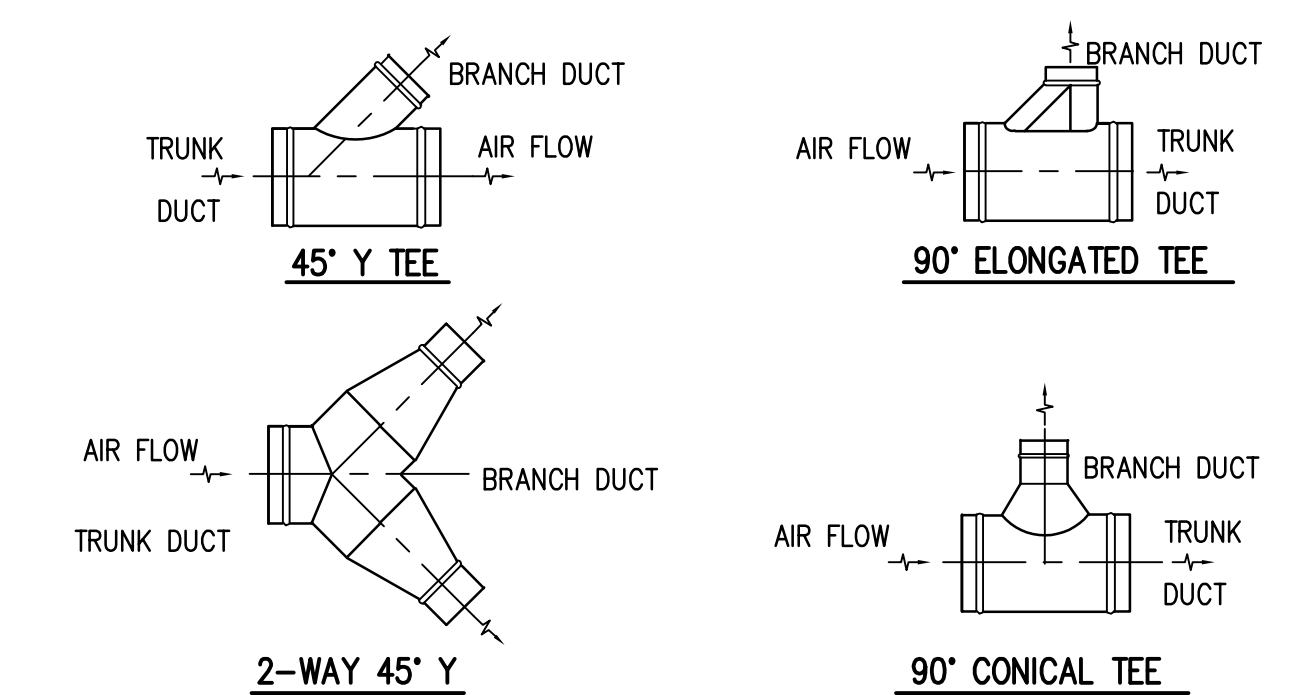
8 TYPICAL ROOF PENETRATION & CURB DETAIL
NO SCALE



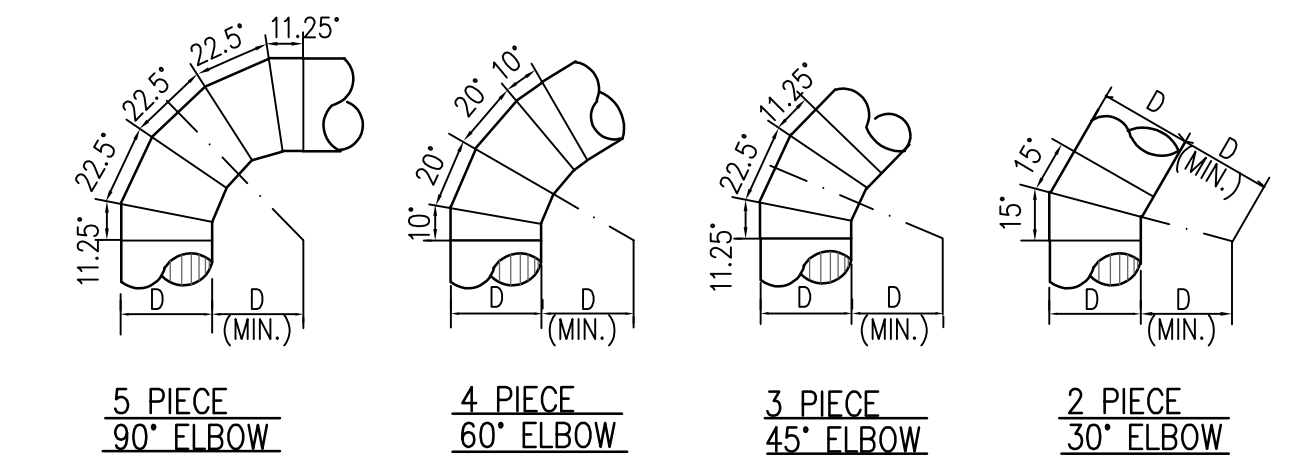
1 DUCT LINER DETAIL
NO SCALE



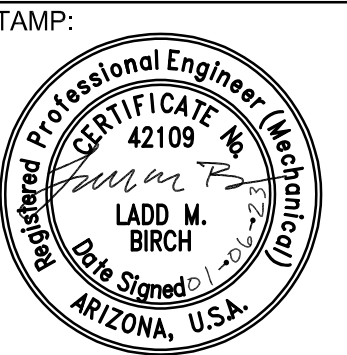
2 BRANCH DUCT TAKE-OFF & DAMPER DETAIL
NO SCALE



3 ROUND DUCT BRANCH TAKE-OFF DETAILS
NO SCALE



4 ROUND DUCT ELBOW DETAILS
NO SCALE

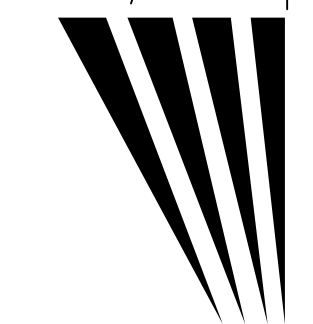


SUBMITTAL:

NO.	DATE	REVISION

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PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

MECHANICAL DETAILS

2208-076
PROJECT NUMBER

M501
SHEET NO.

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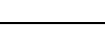
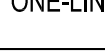
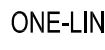

GENERAL NOTES

- THE ELECTRICAL SYSTEMS DEFINED BY THESE PLANS AND SPECIFICATIONS ARE TO BE CONSTRUCTED AS COMPLETE AND OPERABLE SYSTEMS AND SHALL BE BID WITH THIS INTENT. THE CONTRACTOR SHALL VISIT THE SITE, READ ALL THE RELEVANT DOCUMENTS AND BECOME FAMILIAR WITH THE TYPE OF CONSTRUCTION AND WORK TO BE ACCOMPLISHED. SHOULD ANY ERROR, OMISSION OR CONFLICT EXIST IN EITHER THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING BEFORE SUBMITTING HIS BID PRICE SO A CHANGE CAN BE ISSUED IN A PRE-BID ADDENDUM. OTHERWISE, THE CONTRACTOR AND/OR EQUIPMENT SUPPLIER SHALL SUPPLY THE PROPER MATERIALS AND LABOR TO INSTALL COMPLETE AND OPERABLE SYSTEMS AT THEIR OWN EXPENSE. WHEN EACH ELECTRICAL SYSTEM IS COMPLETE, THE CONTRACTOR SHALL TEST AND CONFIRM IT'S PROPER OPERATION. ANY INCOMPLETE SYSTEM SHALL BE MADE COMPLETE AND OPERABLE.
2. THE ARCHITECTURAL AND MECHANICAL PLANS ARE CONSIDERED A PART OF THE ELECTRICAL DOCUMENTS SO FAR AS THEY APPLY. THE ELECTRICAL CONTRACTOR SHALL REFER TO AND COORDINATE WITH THEM. NO EXTRA COST SHALL BE ALLOWED FOR FAILURE TO COORDINATE THE CONTRACT DOCUMENTS WITH OTHER TRADES AND/OR IF EQUIPMENT DIMENSIONS ARE GREATER THAN SPECIFIED AND/OR DIMENSIONED ON THE PLANS.
3. NO ADDITIONS TO THE CONTRACTOR BID WILL BE ALLOWED FOR CHANGES MADE NECESSARY BY INTERFERENCE WITH OTHER WORK.
4. THE ELECTRICAL CONTRACTOR SHALL PROVIDE EQUIPMENT, MATERIALS AND LABOR FOR THE CONNECTIONS OF ALL EQUIPMENT SHOWN ON THE PLANS – ARCHITECTURAL, MECHANICAL, ETC.
5. THIS PROJECT IS TO BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL AND STATE CODES AND THE NEC. IF AT ANY TIME DURING CONSTRUCTION, OR AFTER, SOMETHING IS FOUND TO BE INSTALLED IN VIOLATION OF THE CODES LISTED ABOVE, IT SHALL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. THE ELECTRICAL CONTRACTOR SHALL INSTALL A SEPARATE EQUIPMENT GROUNDING CONDUCTOR IN EACH CONDUIT RUN. CONDUIT SHALL NOT BE USED AS AN EQUIPMENT GROUNDING CONDUCTOR. THE ELECTRICAL CONTRACTOR SHALL GROUND THE ELECTRICAL SYSTEM IN ACCORDANCE WITH LOCAL AND NATIONAL CODES.
7. ELECTRICAL CONTRACTOR SHALL CONFIRM MINIMUM CODE (NEC) WORKING CLEARANCE BEFORE INSTALLING ANY ELECTRICAL PANELS OR CABINETS AND SHALL MOVE THE PANELS AT HIS EXPENSE IF REJECTED BY AN INSPECTOR. IF CLEARANCE IS NOT POSSIBLE, THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY IN WRITING.
8. THE CONTRACTOR SHALL ALLOW THE MOVEMENT, BEFORE ROUGH-IN, OF ANY ELECTRICAL PANEL, DEVICE, LIGHT FIXTURE, ETC. A DISTANCE OF 10 FEET WITHOUT REQUIRING ADDITIONAL COST TO THE PROJECT.
9. THE ELECTRICAL CONTRACTOR SHALL SECURE ALL CONDUIT TO THE STRUCTURE AS IT IS SET IN PLACE USING INDUSTRY STANDARD METHODS AND PRACTICES.
10. TO ASSURE ALL DEVICES ARE RIGIDLY SET, THE ELECTRICAL CONTRACTOR SHALL SECURE ALL DEVICE BOXES WITH BRACKETS, HANGERS, ETC. DESIGNED FOR THE APPLICATION. ANY DEVICE BOXES NOT SECURED WILL BE MADE SECURE AT THE CONTRACTORS EXPENSE.
11. BEFORE ANY ELECTRICAL CONDUIT, BOXES, ETC. ARE COVERED (FLOOR, CEILINGS, WALLS, ETC.), THEY SHALL BE APPROVED BY THE INSPECTING OFFICER (INSPECTOR). THE UNCOVERING AND REPLACEMENT OF ELECTRICAL WORK FOR THE INSPECTION PURPOSES WILL BE AT THE COST OF THE ELECTRICAL CONTRACTOR.
12. LENGTHS OF FLEXIBLE CONDUIT GREATER THAN 48 INCHES SHALL NOT BE INSTALLED ON THIS PROJECT, EXCEPT WHIPS ON LIGHT FIXTURES, WHICH MAY BE UP TO SIX (6) FEET IN LENGTH. FLEXIBLE CONDUIT SHALL NOT BE CONCEALED.
13. ALL BATTERY POWERED OR CONTINUOUS BURN LIGHT FIXTURES SHOWN ON THE PLANS, SUCH AS EXIT LIGHTS, OR NIGHT LIGHTS, SHALL BE CONNECTED TO THE UN-SWITCHED LEG OF THE LIGHTING CIRCUIT FEEDING THAT AREA. NORMAL LIGHTING FIXTURES INDICATED WITH REGULAR BATTERY BACK UP SHALL BE SWITCHED AS INDICATED ON PLANS WITH UN-SWITCHED CONDUCTOR PROVIDED FOR BATTERY CHARGING UNIT.
14. ALL SURFACE/LAY-IN MOUNTED FIXTURES SHALL BE SUPPORTED FROM THE BUILDING STRUCTURE AND NOT THE CEILING GRID.
15. DURING CONSTRUCTION, THE ELECTRICAL CONTRACTOR SHALL REMOVE, REROUTE, AND/OR RELOCATE ANY EXISTING ELECTRICAL EQUIPMENT THAT CONFLICTS WITH THE REMODEL OR ADDITION. ALL SYSTEMS SHALL BE OPERABLE AT THE COMPLETION OF THE PROJECT. THE OWNER RESERVES FIRST RIGHT OF REFUSE ON ALL ELECTRICAL EQUIPMENT WHICH IS NOT TO BE REUSED. EQUIPMENT WHICH IS NOT REUSED OR RECLAIMED BY THE OWNER BECOMES THE PROPERTY OF THE ELECTRICAL CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES.
16. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN ELECTRICAL CONTINUITY TO REMAINING EQUIPMENT WHEN ANY EXISTING ELECTRICAL EQUIPMENT IS REMOVED.








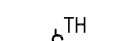




SYMBOL NOTES

- (1) SEE LUMINAIRE SCHEDULE FOR FIXTURE TYPES AND DESCRIPTION
- (2) SEE LUMINAIRE SCHEDULE FOR MOUNTING REQUIREMENTS
- (3) WIRE LIGHT FIXTURE FROM ADJACENT J-BOX
- (4) CONNECT NEAREST UN-SWITCHED HOT CONDUCTOR TO EMERGENCY BALLAST
- (5) DIRECTIONAL ARROWS INDICATE REQUIRED CHEVRONS
- (6) COORDINATE MOUNTING HEIGHT WITH ARCHITECTURAL INTERIOR ELEVATIONS
- (7) USE WITH POWER PACK
- (8) "X" IN SYMBOL IS INCHES BETWEEN RECEPTACLE ALONG WIREWAY, SEE DRAWINGS
- (9) PROVIDE UL LISTED DEVICE COMPATIBLE WITH THE FIRE ALARM PANEL/SYSTEM
- (10) MATCH THE VOLTAGE OF THE RELAY WITH THAT OF THE CONTROLLING CIRCUIT
- (11) USE A "4X4" BOX WITH A MUD RING TO MATCH THE DEVICE AND INSTALLATION.
- (12) PROVIDE 1/2" RING FOR J-BOX COVER APPROPRIATE FOR DEVICE/FIXTURE SERVED
- (13) USE HEAVY DUTY DEVICE FOR 480 VOLT
- (14) SIZE TO THE EQUIPMENT BEING CONTROLLED
- (15) FIRE ALARM PANELS:
FACP: FIRE ALARM CONTROL PANEL
NAC: NOTIFICATION APPLIANCE CIRCUIT PANEL
ANUN: GRAPHIC ANNUNCIATOR PANEL
SES: SMOKE EVACUATION SYSTEM PANEL
- (16) LIGHT FIXTURES ARE SCALED WITHIN THE DRAWINGS BASED ON ACTUAL DIMENSIONS
- (17) COORDINATE MOUNTING HEIGHT WITH ARCHITECTURAL INTERIOR ELEVATIONS AND ELECTRICAL PLANS









SCHEMATIC SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
	ONE-LINE DIAGRAM FUSE		
	ONE-LINE DIAGRAM CIRCUIT BREAKER		
	ONE-LINE DIAGRAM METER BASE		
	ONE-LINE DIAGRAM GROUND ROD		
	ONE-LINE DIAGRAM TRANSFORMER		
	ONE-LINE DIAGRAM CONDUCTOR CALLOUT		

POWER SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
(S)(D)(Q)	(S)SIMPLEX (D)DUPLEX (Q)QUADPLEX OR DOUBLE DUPLEX		
	CONVENIENCE OUTLET, STANDARD	+18"	
	CONVENIENCE OUTLET, GFCI	+18"	
	CONVENIENCE OUTLET, CUSTOM MOUNTED. SEE ARCHITECTURAL INTERIOR ELEVATIONS	AS NOTED	(6)
	CONVENIENCE OUTLET, CUSTOM MOUNTED GFCI. SEE ARCHITECTURAL INTERIOR ELEVATIONS	AS NOTED	(6)
	CONVENIENCE OUTLET IN WEATHERPROOF ENCLOSURE	+18"	
	SPECIAL PURPOSE OUTLET	AS NOTED	(6)
	JUNCTION BOX	AS NOTED	(12)
	MANUAL MOTOR WITH THERMAL OVERLOAD		
	MOTOR		
	MOTOR, ROOF	ROOF	
	PANEL BOARD, SURFACE	+6'-6" A.F.F.	(15)
	PANEL BOARD, RECESSED	+6'-6" A.F.F.	(15)












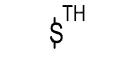







ELECTRICAL LINETYPE SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
	CONDUIT RUN CONCEALED IN WALL OR ABOVE CEILING		
	CONDUIT RUN CONCEALED IN FLOOR OR BELOW GROUND		
	DEMOLITION		
	DEMOLITION		
	EXISTING TO REMAIN		
	HOME RUN TO PANEL		
	CONDUIT STUB DOWN		
	CONDUIT STUB UP		








ELECTRICAL ABBREVIATIONS

AFC	ABOVE COUNTER	ER	EXISTING TO BE RELOCATED	PC	PLUMBING CONTRACTOR
AFV	AVAILABLE FAULT CURRENT	EX	EXISTING TO REMAIN	POC	POINT OF CONNECTION
AFB	ABOVE FINISHED FLOOR	FMC	FLEXIBLE METALLIC CONDUIT	POS	POINT OF SALE
AFG	ABOVE FINISHED GRADE	GC	GENERAL CONTRACTOR	R	RECEIVER
AMP	AMPS INTERRUPTING CAPA.	GEC	GROUND ELECTRODE CONDUCTOR	RM	ROOF MOUNTED
AMC	AMPS	GFCI	GROUND FAULT CURRENT	RMC	RIGID METALLIC CONDUIT
AWG	AMERICAN WIRE GAUGE		INTERUPTR	RNC	RIGID NON-METALLIC CONDUIT
BC	BARE COPPER	GND	GROUND	SBJ	SYSTEM BONDING JUMPER
BFC	BELOW FINISHED CEILING	IMC	INTERMEDIATE METAL CONDUIT	SCA	SHORT CIRCUIT AMPERES
BFG	BELOW FINISHED GRADE	IG	ISOLATED GROUND	T	TRANSMITTER
C	CONDUIT	KCMIL	1000 CIRCULAR MILS (MCM)	TC	TEMPERATURE CONTROL
CND	CONDUCTOR	LFMC	LIQUID TIGHT FLEXIBLE METAL CONDUIT		CONTROLLER
CO	CONDUIT ONLY			UG	UNDERGROUND
CR	CRITICAL	LFNC	LIQUID-TIGHT FLEXIBLE NON-METAL CONDUIT	UNO	UNLESS NOTED OTHERWISE
CT	CURRENT TRANSDUCER			UPS	UNINTERRUPTIBLE POWER SUPPLY
CU	COPPER MATERIAL	MC	MECHANICAL CONTRACTOR		
DED	DEDICATED	MCA	MINIMUM CIRCUIT AMPS	VA	VOLTS/AMPS
DFA	DROP FROM ABOVE	N1	NEMA 1	VIF	VERIFY IN FIELD
EC	ELECTRICAL CONTRACTOR	N3R	NEMA 3R	WP	WEATHERPROOF/NEMA 3R
EM	EMERGENCY/EGRESS PATH			XF	EXPLOSION PROOF
ENT	ELECTRIC METALLIC TUBING	NL	NIGHT LIGHT, BYPASS LIGHT SWITCHING	XR	EXISTING TO BE REMOVED




POWER SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
(S)(D)(Q)	(S)SIMPLEX (D)DUPLEX (Q)QUADPLEX OR DOUBLE DUPLEX		
	CONVENIENCE OUTLET, STANDARD	+18"	
	CONVENIENCE OUTLET, GFCI	+18"	
	CONVENIENCE OUTLET, CUSTOM MOUNTED. SEE ARCHITECTURAL INTERIOR ELEVATIONS	AS NOTED	(6)
	CONVENIENCE OUTLET, CUSTOM MOUNTED GFCI. SEE ARCHITECTURAL INTERIOR ELEVATIONS	AS NOTED	(6)
	CONVENIENCE OUTLET, CUSTOM MOUNTED 2 CIRCUIT. SEE ARCHITECTURAL INTERIOR ELEVATIONS	AS NOTED	(6)
	CONVENIENCE OUTLET IN WEATHERPROOF ENCLOSURE	+18"	
	SPECIAL PURPOSE OUTLET	AS NOTED	(6)
	DIRECT CONNECTION TO EQUIPMENT	AS NOTED	
	JUNCTION BOX	AS NOTED	(12)
	JUNCTION BOX, WALL	AS NOTED	(12)
	JUNCTION BOX, FLOOR	FLOOR	(12)
	MANUAL MOTOR WITH THERMAL OVERLOAD		
	NON-FUSED DISCONNECT SWITCH	AS NOTED	(13)(14)
	FUSED DISCONNECT SWITCH	AS NOTED	(13)(14)
	FUSED DISCONNECT SWITCH IN WEATHERPROOF ENCLOSURE	AS NOTED	(13)(14)
	MOTOR		
	MOTOR, ROOF	ROOF	
	PANEL BOARD, SURFACE	+6'-6" A.F.F.	(15)
	PANEL BOARD, RECESSED	+6'-6" A.F.F.	(15)

VOICE & DATA SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
	TELEPHONE OUTLET, SINGLE PORT	+18"	
	DATA OUTLET, DUAL PORT	+18"	
	DATA OUTLET, DUAL PORT SEE ARCHITECTURAL INTERIOR ELEVATIONS		(6)
	DUAL DATA AND DUAL TELEPHONE PORT	+18"	
	DUAL DATA AND DUAL TELEPHONE PORT SEE ARCHITECTURAL INTERIOR ELEVATIONS		(6)
	TELEVISION/COAXIAL/HDMI OUTLET	AS NOTED	(6)(11)
	WIRELESS ACCESS POINT (WAP)	CEILING	





























COORDINATION SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
	MECHANICAL/PLUMBING EQUIPMENT CALLOUT		
	DIAGRAM CALLOUT		
	KITCHEN EQUIPMENT CALLOUT. SEE KITCHEN EQUIPMENT SCHEDULE		

GENERAL DEMOLITION NOTES

1. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL OTHER TRADES DURING DEMOLITION AND CONSTRUCTION TO FACILITATE TIMELY WORK.
2. ALL AREAS ARE TO BE KEPT CLEAN AND CLEAR OF DEBRIS AT ALL TIMES.
3. CONTRACTOR SHALL PATCH AND REPAIR ALL WALLS, CEILINGS, ETC. TO MATCH EXISTING CONDITIONS. PENETRATIONS SHALL BE SEALED WITH FIRE RATED CAULK.
4. ROUTE ALL CONDUIT IN A NEAT AND ORDERLY FASHION. ALL CONDUIT SHALL BE CONCEALED ABOVE CEILINGS OR IN WALLS OR FINISHED SPACES UNLESS OTHERWISE INDICATED ON THE PLANS.
5. DEVICES SHOWN ON DEMOLITION SHEETS ARE GATHERED FROM AS-BUILT DRAWINGS AND FIELD INVESTIGATION. NOT ALL DEVICES ARE SHOWN. DEVICE PLACEMENT IS SCHEMATIC AND NOT EXACT. CONTRACTOR TO FIELD VERIFY FOR EXACT LOCATIONS AND COORDINATE WORK WITH ALL OTHER DEVICES, EQUIPMENT, CONDUIT, ETC. WHETHER OR NOT SHOWN TO COMPLETE PROJECT.
6. CONTRACTOR TO COORDINATE WITH OWNER FOR ITEMS TO BE SALVAGED PRIOR TO DEMOLITION. CONTRACTOR RESPONSIBLE FOR DISPOSING OF ANY MATERIAL THAT THE OWNER DOES NOT WANT TO KEEP.
7. CAP AND LABEL ALL EMPTY CONDUIT TO REMAIN.

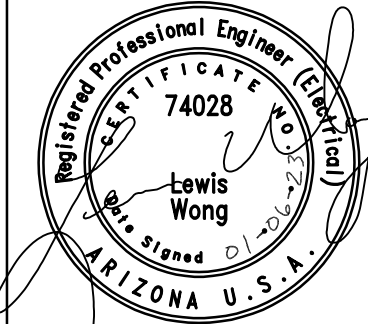
LIGHTING SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	MOUNTING	COMMENTS
	LINEAR LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	CEILING	(1)(2)(3)(16)
	EMERGENCY LINEAR LIGHT FIXTURE	CEILING	(1)(2)(3)(16)
	LINEAR LIGHT FIXTURE	WALL	(1)(2)(3)(16)
	EMERGENCY LINEAR LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	WALL	(1)(2)(3)(16)
	LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	CEILING	(1)(3)
	EMERGENCY LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	CEILING	(1)(3)
	LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	CEILING	(1)(2)
	EMERGENCY LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	CEILING	(1)(2)
	LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	SUSPENDED	(1)(2)(3)
	CEILING FAN AND LIGHT COMBO. SEE LUMINAIRE SCHEDULE	SUSPENDED	
	LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	AS NOTED	(1)(2)
	EMERGENCY LIGHT FIXTURE. SEE LUMINAIRE SCHEDULE	AS NOTED	(1)(2)
	EXIT SIGN. SEE LUMINAIRE SCHEDULE	CEILING	(1)(4)(5)
	EXIT SIGN, ON WALL. SEE LUMINAIRE SCHEDULE	AS NOTED	(1)(2)(4)(5)
	EMERGENCY BUG EYE, ON WALL. SEE LUMINAIRE SCHEDULE	AS NOTED	(1)(2)
	POWER PACK	CEILING	
	VACANCY SENSOR	CEILING	(7)
	DAYLIGHT SENSOR	CEILING	(7)
	SINGLE POLE SWITCH	+4'-0"	(17)
	DOUBLE POLE, SINGLE THROW SWITCH	+4'-0"	(17)
	THREE WAY SWITCH	+4'-0"	(17)
	DUAL LEVEL SWITCH BANK	+4'-0"	(17)
	DIMMING SWITCH	+4'-0"	(17)
	LOW VOLTAGE SWITCH. SEE RELAY PANEL	+4'-0"	(17)
	VACANCY SWITCH. ATTRIBUTE SIGNIFES MODEL NUMBER	+4'-0"	(17)
	TIME CLOCK	AS NOTED	
	LIGHTING CONTROL PANEL, SURFACE	+6'-6" A.F.F.	
	LIGHTING CONTROL PANEL, RECESSED	+6'-6" A.F.F.	

Sheet List Table

Sheet Number	Sheet Title
E001	ELECTRICAL SYMBOLS & NOTES
ED101	ELECTRICAL DEMO PLAN
E101	ELECTRICAL LIGHTING PLAN - GND LEVEL
E102	ELECTRICAL LIGHTING PLAN - DECK LEVEL
E112	ELECTRICAL POWER PLAN - DECK LEVEL
E113	ELECTRICAL POWER PLAN - ROOF LEVEL
E501	ELECTRICAL DIAGRAMS
E601	ELECTRICAL SCHEDULES
E701	ELECTRICAL SPECIFICATIONS
E702	ELECTRICAL SPECIFICATIONS

STAMP:



SUBMITTAL:

NO.	DATE	DESCRIPTION

REVISIONS

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PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

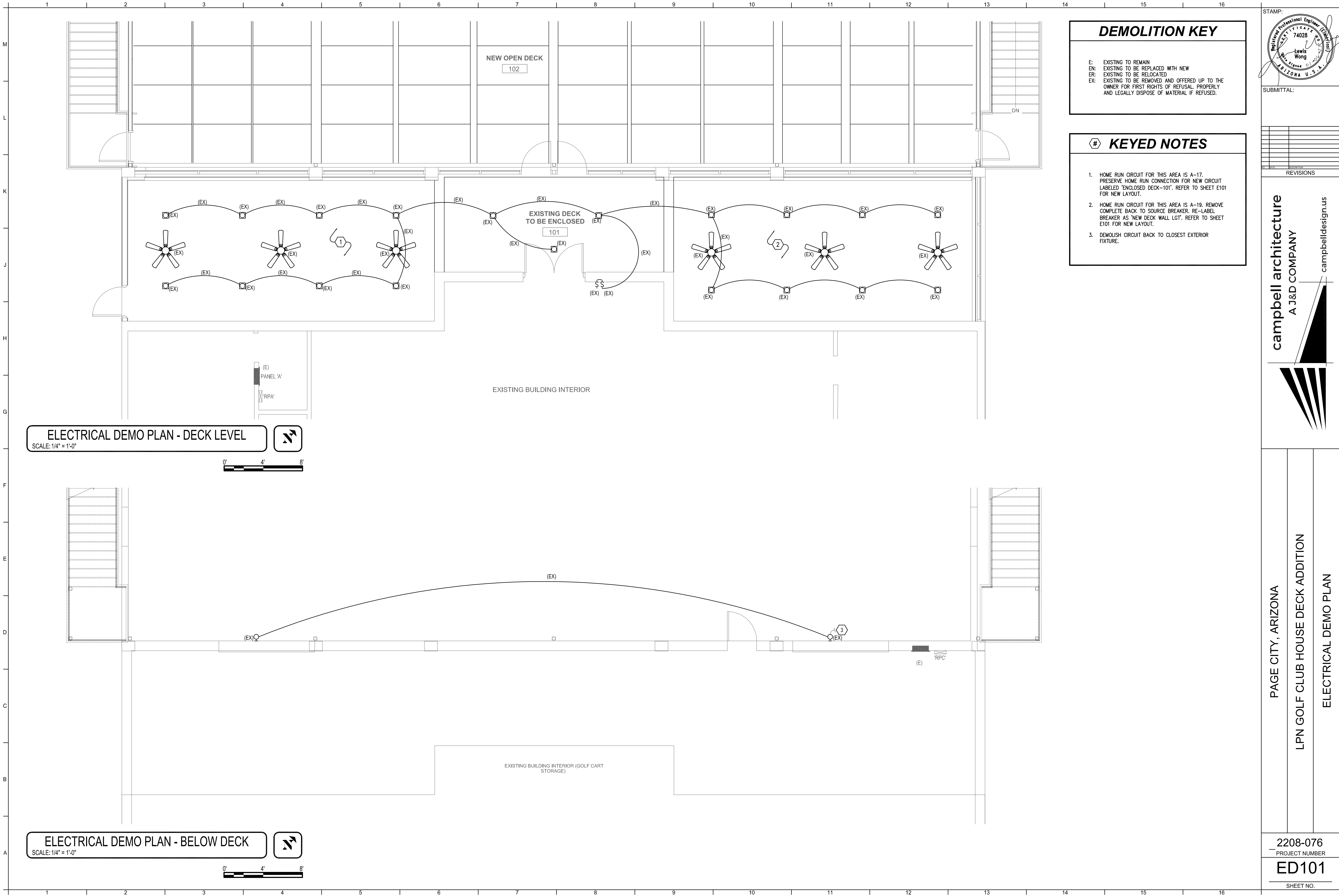
ELECTRICAL SYMBOLS & NOTES

2208-076

PROJECT NUMBER

E001

SHEET NO





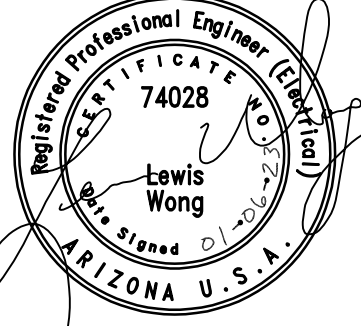


1. COORDINATE EXACT HEIGHT WITH ARCHITECT FOR TV POWER & DATA PRIOR TO ROUGH-IN.

1. TYPE MC CABLE IS ACCEPTABLE FOR USE ON THIS PROJECT WHERE ALLOWED BY CODE AND WHERE CONCEALED IN WALLS OR ABOVE CEILINGS.

1. PROVIDE 2"x4"x2-1/2" JUNCTION BOX WITH MUD RING FOR ALL VOICE/DATA OUTLETS). EXTEND 3/4" NMT CONDUIT WITH PULL CORD TO NEAREST HALL CONTAINING CABLE MANAGEMENT SYSTEM. VOICE/DATA JACKS, FACE PLATES, AND CABLE PROVIDED AND INSTALLED BY OTHERS. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.
2. PROVIDE 2"x4"x2-1/2" JUNCTION BOX WITH MUD RING FOR ALL TELEVISION OUTLET(S). EXTEND 3/4" NMT CONDUIT WITH PULL CORD TO NEAREST HALL CONTAINING CABLE MANAGEMENT SYSTEM. T.V. JACKS, FACE PLATES, AND CABLE PROVIDED AND INSTALLED BY OTHERS. COORDINATE EXACT LOCATION WITH OWNER PRIOR TO ROUGH-IN.
3. SOUND SYSTEM, SECURITY SYSTEM AND SURVEILLANCE SYSTEM PROVIDED BY OTHERS. CONTRACTOR SHALL COORDINATE ALL ROUGH-IN REQUIREMENTS WITH SOUND SYSTEM AND SURVEILLANCE SYSTEM INSTALLER AND PROVIDE ALL NECESSARY BACK-BOXES, RACEWAYS FOR SAID SYSTEM.
4. PROVIDE TAMPER-RESISTANT RECEPTACLES FOR ALL 120V-15 AMP AND 20 AMP WALLS WITH ACCESSIBLE RECEPTACLES INSTALLED IN ALL UNITS PER NEC 406.13.
5. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR INSTALLING CABLE MANAGEMENT SYSTEM (J-HOOKS) ALONG THE SIDE OF ALL HALLS WITH ACCESSIBLE CEILINGS OR HATCHES PROVIDED ERCO (ER-CAT64HP) 4" DIA. J-HOOKS OR EQUAL. LOCATE J-HOOKS 6" ABOVE CEILING WITH A SPACING NOT TO EXCEED 4'-0" ON CENTER.

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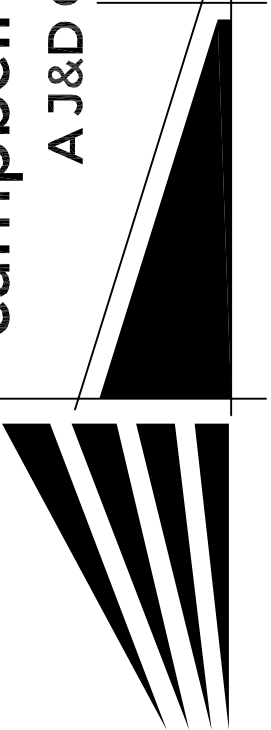


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PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

ELECTRICAL POWER PLAN - DECK LEVEL

2208-076
PROJECT NUMBER

E112

SHEET NO.

RELAY PANEL CONTROL SCHEDULE													
PANEL NAME:		RPA											
LOCATION:		NEAR PANEL 'A'											
CONTROL CIRCUIT:													
VOLTAGE:													
MOUNTING:		SURFACE MOUNT											
RELAY #	DESCRIPTION	PANEL-CIRCUIT	LOAD (VA)	LOW VOLTAGE SWITCH	A	B	C	D	E	F	G	H	I
1	EXTERIOR DECORATIVE LGT	A-13	376										X
2	STRING LGT	A-26	30		X								
3	DECK WALL LGT	A-19	450		X								
4	ENCLOSED DECK 101	A-17	574		X								
5	STAIR TREAD LGT	A-21										X	
6													
7													
8													
REMARKS		PROGRAMMING REQUIREMENTS											
A:	1-BUTTON ON/OFF W/MASTER OVERRIDE												
B:	2-BUTTON ON/OFF W/MASTER OVERRIDE												
C:	3-BUTTON ON/OFF W/MASTER OVERRIDE												
D:	4-BUTTON ON/OFF W/MASTER OVERRIDE												
E:	5-BUTTON ON/OFF W/MASTER OVERRIDE												
F:	6-BUTTON ON/OFF W/MASTER OVERRIDE												
G:	TIMED ON/TIMED OFF												
H:	TIMED ON/PHOTOCELL OFF												
I:	PHOTOCELL ON/TIMED OFF												
J:	PHOTOCELL ON/PHOTOCELL OFF												
GENERAL NOTES:		CONFIRM SWITCHING SCHEME WITH OWNER PRIOR TO PROGRAMMING.											

RELAY PANEL CONTROL SCHEDULE													
PANEL NAME:		RPC											
LOCATION:		NEAR PANEL 'C'											
CONTROL CIRCUIT:													
VOLTAGE:													
MOUNTING:		SURFACE MOUNT											
RELAY #	DESCRIPTION	PANEL-CIRCUIT	LOAD (VA)	LOW VOLTAGE SWITCH	A	B	C	D	E	F	G	H	I
1	UNDER DECK LIGHTING	C-36	133 VA										X
2													
3													
4													
REMARKS		PROGRAMMING REQUIREMENTS											
A:	1-BUTTON ON/OFF W/MASTER OVERRIDE												
B:	2-BUTTON ON/OFF W/MASTER OVERRIDE												
C:	3-BUTTON ON/OFF W/MASTER OVERRIDE												
D:	4-BUTTON ON/OFF W/MASTER OVERRIDE												
E:	5-BUTTON ON/OFF W/MASTER OVERRIDE												
F:	6-BUTTON ON/OFF W/MASTER OVERRIDE												
G:	TIMED ON/TIMED OFF												
H:	TIMED ON/PHOTOCELL OFF												
I:	PHOTOCELL ON/TIMED OFF												
J:	PHOTOCELL ON/PHOTOCELL OFF												
GENERAL NOTES:		CONFIRM SWITCHING SCHEME WITH OWNER PRIOR TO PROGRAMMING.											

VOLTAGE DROP - 120/1

WIRE SIZE	#12 AWG CU					#10 AWG CU					#8 AWG CU					#6 AWG CU				
	°C	60	75	90		60	75	90		60	75	90		60	75	90	60	75	90	
A	kVA	20	25	30		30	35	40		40	50	55		55	65	75				
5	0.60	191	182	173		304	289	276		484	460	439		769	732	698				
7.5	0.90	127	121	115		203	193	184		322	307	292		513	488	465				
10	1.20	95	91	86		152	144	138		242	230	219		384	366	349				
12.5	1.50	76	72	69		121	115	110		193	184	175		307	293	279				
15	1.80	63	60	57		101	96	92		161	153	146		256	244	232				
17.5	2.10	-	52	49		87	82	78		138	131	125		219	209	199				
20	2.40	-	45	43		76	72	69		121	115	109		192	183	174				
22.5	2.70	-	-	38		67	64	61		107	102	97		171	162	155				
25	3.00	-	-	-		57	55	56		92	87	83		153	146	139				
27.5	3.30	-	-	-		52	50	48		83	79	73		139	133	127				
30	3.60	-	-	-		-	-	-		80	76	73		128	122	116				
32.5	3.90	-	-	-		-	-	46		70	67	118		112	107					
35	4.20	-	-	-		-	-	-		65	62	109		104	99					
37.5	4.50	-	-	-		-	-	-		61	58	102		97	93					
40	4.80	-	-	-		-	-	-		57	54	96		91	87					
42.5	5.10	-	-	-		-	-	-		51	50	86		82	77					
45	5.40	-	-	-		-	-	-		-	-	-		-	-					
47.5	5.70	-	-	-		-	-	-		-	-	-		-	-					
50	6.00	-	-	-		-	-	-		-	-	-		-	-					
52.5	6.30	-	-	-		-	-	-		-	-	-		-	-					
55	6.60	-	-	-		-	-	-		-	-	-		-	-					
57.5	6.90	-	-	-		-	-	-		-	-	-		-	-					
60	7.20	-	-	-		-	-	-		-	-	-		-	-					

VD CALCULATION USED: 2 x K x Q x I x [D / ECM]
THE PURPOSE OF THIS TABLE IS TO DISPLAY THE MAXIMUM ALLOWABLE 1-WAY DISTANCES IN FEET FOR 120V, SINGLE-PHASE BRANCH CIRCUITS [AT DESIGN LOAD] THAT MAINTAIN A TARGET MAXIMUM 3-PERCENT VOLTAGE DROP.
WHERE THE ASSOCIATED FEEDER CIRCUIT VOLTAGE DROP [AT DESIGN LOAD] EXCEEDS 2-PERCENT, THESE TABLES CANNOT BE USED. THE COMBINED FEEDER PLUS BRANCH VOLTAGE DROP MUST NOT EXCEED 5-PERCENT PER ASHRAE 90.1, SECTION 8.4.1 [ADDENDUM C] AND IECC C405.9.
K FACTORS USED: 60°C = 12.275, 75°C = 12.9, 90°C = 13.525
CALCULATION USED TO ADJUST K FACTORS FOR 60°C AND 90°C CONDUCTORS:
K2 = 12.9 x [1 + 0.00323 x [T2 - 75]]

VOLTAGE DROP - 208/1

WIRE SIZE		#12 AWG CU			#10 AWG CU			#8 AWG CU			#6 AWG CU		
A	kVA	60	75	90	60	75	90	60	75	90	60	75	90
5	1.04	20	25	30	30	35	40	40	50	55	55	65	75
7.5	1.56	211	210	200	351	334	319	559	532	507	889	846	807
10	2.08	165	157	150	263	251	239	419	399	380	667	634	605
12.5	2.60	132	126	120	211	200	191	335	319	304	533	507	484
15	3.12	110	105	100	175	167	159	279	266	253	444	423	403
17.5	3.64	-	90	86	150	143	136	239	228	217	381	362	346
20	4.16	-	78	75	131	125	119	209	199	190	333	317	302
22.5	4.68	-	-	66	117	111	106	186	177	169	296	282	269
25	5.20	-	-	-	-	100	95	167	159	152	266	253	242
27.5	5.72	-	-	-	-	91	87	152	145	136	242	230	220
30	6.24	-	-	-	-	-	79	139	133	126	222	211	201
32.5	6.76	-	-	-	-	-	-	-	122	117	205	195	186
35	7.28	-	-	-	-	-	-	-	114	108	190	181	173
37.5	7.80	-	-	-	-	-	-	-	106	101	177	169	161
40	8.32	-	-	-	-	-	-	-	99	95	166	158	151
42.5	8.84	-	-	-	-	-	-	-	89	158	149	142	
45	9.36	-	-	-	-	-	-	-	-	-	-	141	134
47.5	9.88	-	-	-	-	-	-	-	-	-	-	133	127
50	10.40	-	-	-	-	-	-	-	-	-	-	126	121
52.5	10.92	-	-	-	-	-	-	-	-	-	-	-	115
55	11.44	-	-	-	-	-	-	-	-	-	-	-	110
57.5	11.96	-	-	-	-	-	-	-	-	-	-	-	105
60	12.48	-	-	-	-	-	-	-	-	-	-	-	100

[illegible]

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PART 2 – MATERIALS (CONTINUED)

CONTINUED FROM SHEET E701 PART 3 – EXECUTION

O. FIRE ALARM SEQUENCE OF OPERATION AND NOTES

A. THE ACTIVATION OF MANUAL PULL STATIONS, SMOKE DETECTORS, HEAT DETECTORS, FLOW DEVICE AND DUCT SMOKE DETECTORS SHALL CAUSE FIRE ALARM OPERATION AS FOLLOWS:

1. THE AUDIBLE APPLIANCES (HORNS) TO SOUND AT A NORMALLY ATTENDED POINT IN THE FACILITY.

2. VISUAL APPLIANCES (STROBE LIGHTS) TO ACTIVATE.

3. THE VISUAL INDICATION OF THE ALARM INITIATING AREA OF INCIDENCE BY DEVICE TYPE AND LOCATION AT THE FIRE ALARM CONTROL PANEL (FACP).

4. ACTIVATION OF AN AUDIBLE SIGNAL AT THE FIRE ALARM CONTROL PANEL AND REMOTE ANNUNCIATOR PANELS.

5. INITIATE OFF SITE ALARM NOTIFICATION.

B. DISPLAY INITIATING DEVICE CIRCUIT TROUBLE CONDITIONS, SINGLE OPENS AND SINGLE GROUNDS, FOR EACH FIRE ALARM AND SUPERVISORY INITIATING CIRCUITS, AND PROVIDE A COMMON SYSTEM TROUBLE AT THE LOCAL FIRE ALARM CONTROL PANELS.

C. DISPLAY NOTIFICATION APPLIANCE CIRCUIT TROUBLE CONDITIONS, SINGLE OPENS, SHORTS, AND SINGLE GROUNDS, FOR EACH CIRCUIT, AND A COMMON SYSTEM TROUBLE AT THE FIRE ALARM CONTROL PANEL.

D. THE EFFECTIVE INTENSITY OF ALL NOTIFICATION STROBES SHALL BE A MINIMUM OF 15 CANDELA PRODUCING AN EQUIVALENT ILLUMINANCE OF 0.03 LUMENS/SQ. FT AT 20'-0" ON A HORIZONTAL AXIS.

E. SYSTEM OPERATION SHALL BE LOW VOLTAGE (24 VOLTS DC) INCLUDING ALL SUPERVISORY AND CONTROL FUNCTIONS.

F. UPON LOSS OF 120 VAC OPERATING POWER, THE ENTIRE SYSTEM SHALL OPERATE ON STAND-BY BATTERY POWER FOR 60 HOURS IN SUPERVISORY MODE AND THEN BE CAPABLE OF ALARM OPERATION FOR 5 MINUTES.

G. THE TRANSFER TO STANDBY POWER SHALL NOT CAUSE A GENERAL ALARM TO BE GENERATED BUT SHALL BE INDICATED AT THE FIRE ALARM PANEL AND THE REMOTE ANNUNCIATOR PANELS AS SYSTEM AND BATTERY TROUBLE.

H. AUDIBLE AND VISUAL EVACUATION SIGNALS SHALL MEET THE REQUIREMENTS AND RECOMMENDATIONS OF NFPA-72 AND THE AMERICANS WITH DISABILITIES ACT (ADA).

I. SMOKE DETECTORS SHALL BE AS SHOWN ON THE PLANS AND OF THE PHOTOELECTRIC TYPE, LISTED TO UL-217. EACH DETECTOR SHALL HAVE A SOLID STATE PIEZO ALARM SIGNAL. SMOKE DETECTORS USED IF DIFFERENT FROM ABOVE, SHALL BE FOR 120 VOLT AC OPERATION LAMP WITH A POWER-ON INDICATOR. THE BUILT-IN AUDIBLE SIGNAL SHALL PRODUCE SOUND OUTPUTS FOR NOT LESS THAN 85DB AT 10'-0" FEET. THE BUILDING REQUIRED STANDARD SMOKE DETECTOR SHALL BE USED IF DIFFERENT FROM ABOVE.

A. DESCRIPTION

1. ALL MATERIALS SHALL BE INSTALLED IN A PROFESSIONAL MANNER INDICATIVE OF THE TRADE. ALL PENETRATIONS OF THE OUTSIDE WALLS OR ROOF SHALL BE SEALED WITH APPROPRIATE SEALANT OR CAULK FOR THE PARTICULAR SURFACE INVOLVED.

B. RACEWAYS

1. RACEWAYS SHALL RUN CONCEALED UNLESS OTHERWISE INDICATED. EXPOSED RACEWAY RUNS SHALL BE PARALLEL WITH SUPPORTING WALLS, BEAMS, AND CEILINGS AND WITH EACH OTHER AND SHALL NOT RUN CLOSER THAN 6 INCHES TO ANY WATER PIPE OR HEATER FLUME.

2. RACEWAY ENDS SHALL BE REAMED AFTER THREADING AND AFTER CUTTING AND BE MADE TO BUTT IN THE CENTER OF THE COUPLING. THE USE OF RUNNING THREADS IS PROHIBITED.

3. RACEWAYS SHALL BE INSTALLED AS A COMPLETE SYSTEM, CONTINUOUS FROM OUTLET TO OUTLET, CABINET, BOX OR FITTINGS, AND SHALL BE MECHANICALLY CONNECTED SO THAT ADEQUATE ELECTRICAL CONTINUITY FROM ONE TO ANOTHER IS OBTAINED. CONDUITS SHALL BE SUPPORTED WITH ONE OR TWO HOLE STAMPED STEEL OR MALLEABLE IRON STRAPS (SUCH AS MANUFACTURED BY RACO) DESIGNED FOR SUPPORTING CONDUIT. THE SIZE OF STRAP SHALL MATCH THE SIZE OF THE CONDUIT. NAILS, PERFORATED STRAP, OR PLUMBERS TAPE SHALL NOT BE USED FOR SUPPORT OF RACEWAY.

4. PROVIDE 1/8" POLY PULL CORD IN RACEWAYS WITHOUT CONDUCTORS.

5. FOUR 90 DEGREE BENDS MAXIMUM BETWEEN TERMINATIONS OR BOXES.

C. CONDUCTORS

1. ALL CONDUCTORS SHALL BE INSTALLED IN CONDUIT AND COLOR CODED AS FOLLOWS:

PHASE

208/120

PHASE A

BLACK

PHASE B

RED

PHASE C

BLUE

NEUTRAL

WHITE

GROUND

GREEN

2. MAKE JOINTS, SPLICES, TAPS AND CONNECTORS IN CONDUCTORS WITH SOLDERLESS CONNECTORS.

3. WIRING FOR FIRE ALARM SHALL BE TWISTED AND/OR SHIELDED SIZE AS RECOMMENDED BY THE MANUFACTURER OF THE EQUIPMENT AND TO ENSURE PROPER VOLTAGE AT THE DEVICE (AVOID VOLTAGE DROP OF MORE THAN 3%).

D. JUNCTION AND PULL BOXES

1. PULL BOXES SHALL BE PROVIDED WHERE INDICATED OR WHERE NECESSARY TO FACILITATE THE PULLING OF CONDUCTORS. TELEPHONE RACEWAYS SHALL HAVE A MAXIMUM OF TWO 90 DEGREE BENDS BETWEEN TERMINATIONS OR BOXES.

E. GROUNDING

1. INSTALL A CODE SIZED GROUNDING CONDUCTOR IN ALL RACEWAYS. DO NOT USE THE RACEWAY FOR GROUNDING. MAKE GOOD CONTACT AT ALL PANEL BOARDS, OUTLET BOXES, AND JUNCTION OR PULL BOXES TO THE RACEWAY SYSTEM. USE APPROVED BONDING MATERIALS.

F. LUMINAIRE INSTALLATION

1. ALL FIXTURES RECESSED AND SURFACE SHALL BE SUPPORTED FROM THE STRUCTURE AND NOT FROM THE CEILING FRAMING OR GRID CEILING.

2. INSTALL RECESSED LUMINAIRES TO PERMIT REMOVAL FROM BELOW.

3. LOCATE LUMINAIRES AS INDICATED ON THE DRAWINGS.

4. INSTALL ACCESSORIES FURNISHED WITH AND REQUIRED FOR EACH LUMINAIRE.

G. BONDING

1. BOND ALL PIPING (GAS WATER, ETC) AS REQUIRED BY THE NEC. CONFIRM SYSTEMS TO BE USED WITH MC.

H. SEISMIC REQUIREMENTS

1. IF REQUIRED, RECESSED TYPE LIGHTING FIXTURES, IN ADDITION TO THE STANDARD SEISMIC CLIPS AND SUPPORT ON T-BAR GRID SYSTEM, SHALL HAVE 2#12 STEEL SAFETY WIRES PER FIXTURE. ONE END OF EACH SAFETY WIRE SHALL BE SECURELY FASTENED TO THE BUILDING STRUCTURE. THE OTHER END (6 INCHES LONGER THAN THE T-BAR GRID SUPPORT WIRES) SHALL BE FASTENED TO DIAGONAL CORNERS OF EACH LIGHTING FIXTURE.

I. CUTTING AND PATCHING

1. PERFORM DRILLING, CUTTING, AND PATCHING OF THE GENERAL CONSTRUCTION WORK WHETHER EXISTING OR NEW, AS REQUIRED FOR THE INSTALLATION OF ELECTRICAL WORK. PATCH WITH THE SAME MATERIALS, WORKMANSHIP, AND FINISH AS THE ORIGINAL WORK AND ACCURATELY MATCH ALL SURROUNDING WORK. SUCH WORK WILL BE DONE BY A CRAFTSMAN ACCREDITED IN THE APPLICABLE TRADE UNDER THE CONTRACTOR'S SUPERVISION AND BE ACCEPTABLE TO THE OWNER'S REPRESENTATIVE. COORDINATE WITH OTHER TRADES AND GENERAL CONTRACTOR PRIOR TO CUTTING, DRILLING, OR CORING.

J. WIRING DEVICES

1. MOUNTING HEIGHTS TO THE CENTER OF THE DEVICE AND ORIENTATION SHALL BE AS FOLLOWS:

THERMOSTATS/MECHANICAL SWITCHES

48" AFF

LIGHT SWITCHES

48" AFF

CONVENIENCE AND TELEPHONE OUTLETS

44" AFF

ABOVE COUNTER

18" AFF

DATA, TELEPHONE, TV AND CONVENIENCE OUTLETS (TYPICAL)

18" AFF

ALL MOUNTING HEIGHTS ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. ALL SWITCHES AND THERMOSTATS TO BE MOUNTED AS CLOSE TO DOOR JAMB AS POSSIBLE. COORDINATE ALL DEVICES WITH ARCHITECTURAL PLANS AND DETAILS. RECEPTACLES SHALL BE ORIENTED WITH THE GROUND TERMINAL UP WHEN INSTALLED VERTICAL AND WITH THE NEUTRAL TERMINAL(S) UP WHEN INSTALLED HORIZONTAL.

K. TESTING

1. DEMONSTRATE THAT ALL COMPONENTS OF THE WORK OF THIS DIVISION HAVE BEEN PROVIDED AND THAT THEY OPERATE IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

2. TEST WIRING AND CONNECTORS FOR CONTINUITY, SHORT CIRCUITS AND IMPROPER GROUNDS. TEST EACH LIGHTING AND APPLIANCE PANEL WITH MAINS DISCONNECTED FROM FEEDERS, BRANCHES CONNECTED, WALL SWITCHES CLOSED AND FIXTURES PERMANENTLY CONNECTED AND COMPLETE WITH LAMPS. TEST EACH INDIVIDUAL POWER CIRCUIT WITH THE POWER EQUIPMENT CONNECTED FOR PROPER OPERATION.

3. PROVIDE DETAILED DOCUMENTATION OF EACH TEST PERFORMED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, WITH THE NAMES AND THE SIGNATURES OF QUALIFIED INDIVIDUALS WHO CONDUCTED AND WITNESSED EACH TEST.

4. LIGHTING CONTROL DEVICES AND CONTROL SYSTEMS SHALL BE TESTED TO ENSURE THAT CONTROL HARDWARE AND SOFTWARE ARE CALIBRATED, ADJUSTED, PROGRAMMED, AND IN PROPER WORKING CONDITION IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHEN OCCUPANT SENSORS, TIME SWITCHES, PROGRAMMABLE SCHEDULE CONTROLS, OR PHOTO-SENSORS ARE INSTALLED, AT A MINIMUM, THE FOLLOWING PROCEDURES SHALL BE PERFORMED:

a. OCCUPANT SENSORS

4.1.1. CERTIFY THAT THE SENSOR HAS BEEN LOCATED AND AIMED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

4.1.2. FOR PROJECTS WITH UP TO SEVEN (7) OCCUPANCY SENSORS, ALL OCCUPANCY SENSORS SHALL BE TESTED.

4.1.3. FOR PROJECTS WITH MORE THAN SEVEN (7) OCCUPANCY SENSORS, TESTING SHALL BE DONE FOR EACH UNIQUE COMBINATION OF SENSOR TYPE AND SPACE GEOMETRY. FOR EACH SENSOR TO BE TESTED, VERIFY THE FOLLOWING:

a.a. STATUS INDICATOR (AS APPLICABLE) OPERATES CORRECTLY.

a.b. CONTROLLED LIGHTS TURN OFF OR DOWN TO THE PERMITTED LEVEL WITHIN THE REQUIRED TIME.

a.c. FOR AUTO-ON OCCUPANT SENSORS, THE LIGHTS TURN ON TO THE PERMITTED LEVEL WHEN SOMEONE ENTERS THE SPACE.

a.d. FOR MANUAL-ON SENSORS, THE LIGHTS TURN ON ONLY WHEN MANUALLY ACTIVATED.

a.e. THE LIGHTS ARE NOT INCORRECTLY TURNED ON BY MOVEMENT IN NEARBY AREAS OR BY HVAC OPERATION.

b. AUTOMATIC TIME SWITCHES:

1.1.1. CONFIRM THAT THE AUTOMATIC TIME-SWITCH CONTROL IS PROGRAMMED WITH APPROPRIATE WEEKDAY, WEEKEND, AND HOLIDAY (AS APPLICABLE) SCHEDULES.

1.1.2. DOCUMENT FOR THE OWNER AUTOMATIC TIME-SWITCH PROGRAMMING, INCLUDING WEEKDAY, WEEKEND, AND HOLIDAY SCHEDULES, AS WELL AS ALL SETUP AND PREFERENCE PROGRAM SETTINGS.

1.1.3. VERIFY THAT CORRECT TIME AND DATE ARE PROPERLY SET IN THE TIME SWITCH.

1.1.4. VERIFY THAT ANY BATTERY BACKUP (AS APPLICABLE) IS INSTALLED AND ENERGIZED.

1.1.5. VERIFY THAT THE OVERRIDE TIME LIMIT IS SET TO NO MORE THAN TWO (2) HOURS.

1.1.6. SIMULATE OCCUPIED CONDITION. VERIFY AND DOCUMENT THE FOLLOWING:

1.1.7. ALL LIGHTS CAN BE TURNED ON AND OFF BY THEIR RESPECTIVE AREA CONTROL SWITCH.

1.1.8. THE SWITCH ONLY OPERATES LIGHTING IN THE ENCLOSED SPACE IN WHICH THE SWITCH IS LOCATED.

c. DAYLIGHT CONTROLS:

1.1.1. ALL CONTROL DEVICES (PHOTOCONTROLS) HAVE BEEN PROPERLY LOCATED, FIELD-CALIBRATED, AND SET FOR APPROPRIATE SETPOINTS AND THRESHOLD LIGHT LEVELS.

1.1.2. DAYLIGHT CONTROLLED LIGHTING LOADS ADJUST TO APPROPRIATE LIGHT LEVELS IN RESPONSE TO AVAILABLE DAYLIGHT.

1.1.3. THE LOCATION WHERE CALIBRATION ADJUSTMENTS ARE MADE IS READILY ACCESSIBLE ONLY TO AUTHORIZED PERSONNEL.

THE INDIVIDUAL(S) RESPONSIBLE FOR THE FUNCTIONAL TESTING SHALL NOT BE DIRECTLY INVOLVED IN EITHER THE DESIGN OR CONSTRUCTION OF THE PROJECT AND SHALL PROVIDE DOCUMENTATION CERTIFYING THAT THE INSTALLED LIGHTING CONTROLS MEET OR EXCEED ALL DOCUMENTED PERFORMANCE CRITERIA.

END

STAMP:

SUBMITTAL:

REVISIONS

PAGE CITY, ARIZONA

LPN GOLF CLUB HOUSE DECK ADDITION

ELECTRICAL SPECIFICATIONS

2208-076
PROJECT NUMBER

E702

SHEET NO.